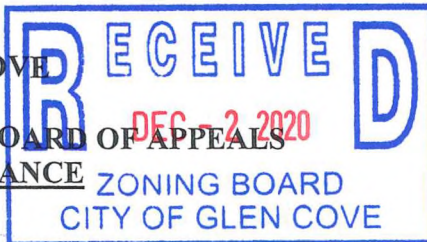




CITY OF GLEN COVE

APPLICATION TO THE ZONING BOARD OF APPEALS  
FOR AN AREA VARIANCE



1. Applicant hereby appeals to the City of Glen Cove Zoning Board of Appeals from the decision of the Building Department Director in denying a building permit for:

maintain 35sq feet BBA area with  
wood arbor

2. Applicant's Name, Address and phone number are:

Christopher & Jessica Rapone  
18 Roosevelt Street Glen Cove ; 516-578-9354

3. If the Applicant is NOT the owner of record, the Applicant is (circle one):

- a. contract vendee (attached copy of contract)  
OR  
b. the tenant (attach copy of lease)  
OR  
c. prospective tenant (attach copy of conditional  
lease or binding letter of intent)

4. The address of the property which is the subject of this Application is:

18 Roosevelt Street Glen Cove, NY, 11542

Nassau County Land & Tax Map designation is:

Section: 31 Block: 14 Lot: 177, 178

City of Glen Cove Zoning District is: R-3A

5. Applicant became the owner of the subject property on August 2019

by deed dated \_\_\_\_\_ recorded in Liber \_\_\_\_\_ Page \_\_\_\_\_

c. State why the benefit sought cannot be achieved by some method feasible for the Applicant to pursue other than an area variance.

Any other location on the premises would not be suitable for this type of application due to the layout of the property.

d. Describe the difference between the proposed dimensions and the Code requirement for each variance. (see back for remaining variance explanations)

① 280-58 R-3A(B)(10) - code is a maximum coverage of 20%. applicant is proposing 29.8%. The property was already above the threshold upon the purchase of the property and the additional 35 sq ft does not comprise the 9.8% overage.

e. Explain why the requested relief will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.

The proposed BBQ is a standard BBQ apparatus and will have no possible physical or environmental conditions to the neighborhood or district.

10. Has the subject premises been the subject of prior applications for variances, special use permits and/or subdivisions?

Yes \_\_\_\_\_ No ☒

If 'Yes', please describe and provide written decisions, if any, on those prior applications.

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6. State whether the subject premises is located within 500 feet of the boundary line of any Village or Town, of any County or State Park, of any County or State parkway, thruway, expressway, road or highway, of any County stream or drainage channel, of any County or State owned land on which a public building or institution is situated, or of any farm operation located in an agricultural district.

Yes \_\_\_\_\_

No ☒

7. The Petitioner requests the following relief from the Board of Appeals:

Three variances for use of a BBQ area:  
280-58 R-3A(B)(10); 280-58 R-3A(D)(4);  
280-58 R-3A(D)(5)

8. The Applicant seeks variance(s) from [or challenges interpretation of] the following section(s) of the Zoning Chapter 280 :

280-58 R-3A(B)(10); 280-58 R-3A(D)(4);  
280-58 R-3A(D)(5) Six-Thousand-Five-Hundred-Square  
Foot-One Family Residence District

9. a. State how the granting of the relief requested will benefit the applicant and why it is necessary.

Granting of the relief requested will  
allow for a suitable space for  
an outdoor BBQ area.

- b. State why the requested variance(s) will not cause an undesirable change in the character of the neighborhood or a detriment to nearby properties if the application is granted.

There is no nuisance caused to  
neighboring properties structurally,  
functionally, or in appearance and the  
bbq area is suitably enclosed by a fence  
from view from the street. We have  
ascertained letters of consent and support  
from adjacent neighbors which are enclosed with  
this application. This installation is commonly  
found in comparable homes in this city.

11. State the names and phone numbers of any of the following licensed professionals who may appear at the public hearing representing the Applicant:

a. Attorney: Maximilian J. G. Quercia, Esq. (516) 903-1292  
b. Architect: \_\_\_\_\_  
c. Engineer: (P.E.): \_\_\_\_\_  
d. Certified Planner: \_\_\_\_\_

12. If the Applicant is a corporation, the Petitioner has adopted a resolution (copy attached) authorizing the following corporate officer to act on its behalf:

_____	_____
Name	Title

13. The approximate dimensions in linear feet of the subject premises (lot) are as follows:

a. Width: 50 ft  
b. Depth: 125 ft  
c. Size of lot (in acres): 0.143 acres

14. Are there current violations and/or criminal charges which relate to this Application pending against the subject premises and/or the Applicant?

Yes \_\_\_\_\_ No ✓

If 'Yes', please describe.


\_\_\_\_\_  
\_\_\_\_\_

15. Does the Applicant seek to legalize a use of land and/or structures and buildings which already exist?

Yes ✓ No \_\_\_\_\_

16. The Applicant represents that Applicant has received a copy of the Board's Rules of Procedure and acknowledges that Applicant has complied with said Rules in all respects as the same apply to this Application.

**I HAVE READ THE FOREGOING APPLICATION AND UNDERSTAND THAT ANY FALSE STATEMENT MADE THEREIN IS PUNISHABLE AS A CLASS 'A' MISDEMEANOR PURSUANT TO SECTION 210.45 OF THE NEW YORK STATE PENAL LAW.**

  
\_\_\_\_\_  
Applicant's Signature

Date: 11/30/2020



Timothy Tenke  
Mayor

Phone: (516) 676-2000  
Fax: (516) 676-0108



**CITY OF GLEN COVE**

City Hall  
9 Glen Street  
Glen Cove, NY 11542-4106

**BUILDING DEPARTMENT**

**Date:** August 18, 2020  
**To:** The Chairman and Members of the Board of Appeals  
**Application:** BBQ Area with Arbor  
**Address:** 18 Roosevelt Street  
**Type of USE:** Residential Single Family

SECTION	BLOCK	LOT	ZONE
31	14	177-178	R3A

---

**DESCRIPTION OF CONSTRUCTION WORK TO BE PERFORMED:**

Proposed 35 SF BBQ area with wood Arbor

**DENIED for the following reasons:**

Pursuant to the Municipal Code of the City of Glen Cove, § 280-30. Conditions governing nonconforming uses.

A. Changes. No building which is nonconforming in respect to height, percentage of land occupied, minimum yard sizes or minimum area per family shall be altered or reduced or enlarged in such manner as to increase such nonconformance, except that after due notice and public hearing the Board of Appeals may issue a permit for such change if in its judgment the public interest is not jeopardized.

Pursuant to the Municipal Code of the City of Glen Cove, § 280-58 R-3A Six-Thousand-Five-Hundred-Square-Foot-One-Family Residence District. (B)

(1) Minimum lot area: 6,500 square feet.

**EXISTING LOT AREA IS 5,000 SF**

**Variance 1**

Pursuant to the Municipal Code of the City of Glen Cove, § 280-58 R-3A Six-Thousand-Five-Hundred-Square-Foot-One-Family Residence District. (B)

(10) Maximum coverage 20%

**APPLICANT IS PROPOSING 29.8%**

**Variance 2**

Pursuant to the Municipal Code of the City of Glen Cove, § 280-58 R-3A Six-Thousand-Five-Hundred-Square-Foot-One-Family Residence District. (D)

(4) Minimum distance to front property line: 65 feet

**APPLICANT IS PROPOSING 63.2 feet**

**Variance 3**

Pursuant to the Municipal Code of the City of Glen Cove, § 280-58 R-3A Six-Thousand-Five-Hundred-Square-Foot-One-Family Residence District. (D)

(5) Minimum distance to side property line: three feet

**APPLICANT IS PROPOSING two inches**

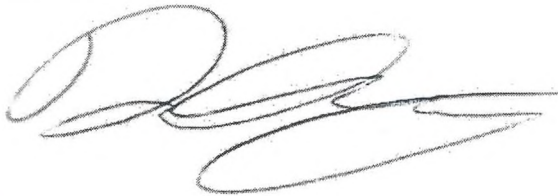
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THIS IS FOR A ZONING BOARD APPLICATION ONLY. DOES NOT CONSTITUTE APPROVAL OF DRAWINGS SUBMITTED FOR CONSTRUCTION.

Please contact the Board of Appeals secretary Rosa Rizzo at 676-4448 for variance applications and requirements.

<b>(3) Variance(s) required</b>	<b>\$600.00</b>
---------------------------------	-----------------

Thank you,



**David Jimenez**  
Director – The City of Glen Cove Building Department

November 25, 2020  
Board of Zoning Appeals- City of Glen Cove  
City of Glen Cove  
9 Glen Street  
Glen Cove, NY 11542

Dear Board of Zoning Appeals Members,

This letter is to affirm support for Christopher & Jessica Rapone's request for the 35 SF BBQ Area w/ Wood Arbor at 18 Roosevelt Street, Glen Cove NY 11542 to remain intact. We are aware of the Front Yard Set Back of 62' 2" as well as the Side Yard Set Back of 2" and hold no opposition to the structure or its placement. It does not in any way interfere with us on our adjacent property, and we do not object to it either structurally, in function, or appearance.

Christopher Rapone has been a member of the Manhasset-Lakeville Fire Department for 15+ years and we are confident that the BBQ will be utilized in the safest fashion possible.

During their tenure in Glen Cove, the Rapone's have demonstrated themselves as assets to the community and great neighbors to all in the area. We wish to see them continue to grow their family in Glen Cove and will be available for any further comment upon request.

Thank you for your time and consideration,

A handwritten signature in black ink, appearing to read "Karen Ferguson", with a long horizontal flourish extending to the right.

Karen Ferguson

17 Roosevelt Street

Glen Cove NY 11542



August 19, 2020  
Board of Zoning Appeals- City of Glen Cove  
City of Glen Cove  
9 Glen Street  
Glen Cove, NY 11542

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This letter is to affirm support for Christopher & Jessica Rapone's request for the 35 SF BBQ Area w/ Wood Arbor at 18 Roosevelt Street, Glen Cove NY 11542 to remain in-tact. We are aware of the Front Yard Set Back of 62' 2" as well as the Side Yard Set Back of 2" and hold no opposition to the structure or its placement. It does not in any way interfere with us on our adjoining property, and we do not object to it either structurally, in function, or appearance. Christopher Rapone has been a member of the Manhasset-Lakeville Fire Department for 15+ years and we are confident that the BBQ will be utilized in the safest fashion possible. During their tenure in Glen Cove, the Rapone's have demonstrated themselves as assets to the community and great neighbors to all in the area. We wish to see them continue to grow their family in Glen Cove and will be available for any further comment upon request.

Thank you for your time and consideration,  
Robert LeBlanc  
20 Roosevelt Street  
Glen Cove, NY 11542  
516-659-9059  
robertleblanc17@gmail.com

LILIANA LEBLANC  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 01LE6395202  
Qualified in Nassau County  
My Commission Expires 07-22-20~~22~~23



October 9, 2020  
Board of Zoning Appeals- City of Glen Cove  
City of Glen Cove  
9 Glen Street  
Glen Cove, NY 11542

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Thank you for your time and consideration,

XX

Michael Rotker



Lisa K. Lora



October 9, 2020  
Board of Zoning Appeals- City of Glen Cove  
City of Glen Cove  
9 Glen Street  
Glen Cove, NY 11542

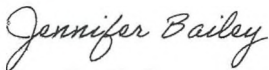
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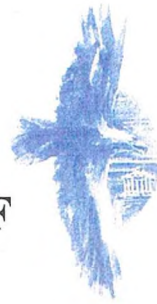
Jennifer Bailey  
15 Roosevelt St.  
Glen Cove, NY 11542



Timothy Tenke  
Mayor

Phone: (516) 676-4448  
Fax: (516) 759-6711

## CITY OF GLEN COVE



Richard Summa  
Director - Building Department

William Byrne  
Building Inspector

City Hall  
9 Glen Street  
Glen Cove, NY 11542-4106

Joseph Scarfo  
Multiple Residence Inspector

### BUILDING DEPARTMENT NOTICE OF VIOLATION AND ORDER TO REMEDY

YOU ARE HEREBY CITED FOR VIOLATIONS OF THE CITY OF GLEN COVE CODES:  
See attached

CASE#: 2020-088

Parcel Id: 31-14.-177

DATE: 6/29/2020

ISSUING OFFICER: William Byrne

NAME & ADDRESS OF OWNER: RAPONE, CHRISTOPHER G.  
RAPONE, JESSICA N.  
18 ROOSEVELT ST.  
GLEN COVE NY 11542

LOCATION OF VIOLATION: 18 ROOSEVELT ST

YOU HAVE 14 DAYS FROM THE DATE OF THIS NOTICE TO REMOVE OR CORRECT THE VIOLATIONS STATED HEREIN. FAILURE TO COMPLY WITH THIS NOTICE MAY RESULT IN THE ISSUANCE OF A SUMMONS REQUIRING YOU TO APPEAR AT GLEN COVE CITY COURT.

IN ORDER TO AVOID FURTHER ACTION CALL THE BUILDING DEPARTMENT AT 516-676-4448 PRIOR TO **7/14/2020** AND ARRANGE FOR A TIMELY INSPECTION. FAILURE TO ARRANGE AN EARLY APPOINTMENT WILL NOT RESULT IN AN EXTENSION OF TIME.

YOU MAY VISIT THE BUILDING DEPARTMENT TO REVIEW YOUR SECTION, BLOCK AND LOT (S.B.L.) FILE DURING REGULAR OFFICE HOURS.

Signed

William Byrne  
Building Inspector

**VIOLATOR:** RAPONE, CHRISTOPHER G.  
RAPONE, JESSICA N.  
18 ROOSEVELT ST.  
GLEN COVE , NY 11542

**LIST OF VIOLATIONS**

**Ordinance Code: Chapter 111-9 (A-1) - City of Glen Cove - Building w/o Permit**

No person, firm or corporation shall commence the erection, construction, enlargement, alteration, removal, improvement, demolition, conversion or change in the nature of the occupancy of any building or structure, or cause the same to be done, without first obtaining a separate building permit from the Building Department Administrator for each such building or structure; except that no building permit shall be required for the performance of ordinary repairs which are not structural in nature or an open or temporary shed not over 12 feet in height and of an estimated cost not exceeding \$100. Whenever any proposed operation includes any demolition, such fact shall be expressly stated.

- 1) WOOD ARBOR / TRELLIS STRUCTURE BUILT WITHOUT A PERMIT*
- 2) BBQ ISLAND BUILT WITHOUT A PERMIT*
- 3) AIR CONDITIONING UNIT(S) INSTALLED WITHOUT A PERMIT.*
- 4) FENCING INSTALLED WITHOUT A PERMIT*

**Ordinance Code: Chapter 111-9 (A-2) - City of Glen Cove - Building permits - Permit Required**

(2) Such application shall be accompanied by drawings in ink or blueprint, and by specifications, all in duplicate; and any additional detailed drawings or other information required by the Building Department Administrator shall also be furnished in duplicate. Drawings shall give location of building, live floor loads, kinds of occupancies, number of occupants and all necessary information with reference to existing construction and shall include a real estate property survey when the Building Department Administrator so requires. The application for a building permit shall give the names and addresses of the owner of the property and shall also comply with and be subject to 280-10 of Chapter 280, Zoning, of this Code. Each application shall state the estimated cost of the undertaking. All facts in the application shall be affirmed under oath.

*ARCHITECTURAL DRAWINGS ARE REQUIRED AS PER CODE STATED ABOVE*

*SEE ENCLOSED LIST OF ARCHITECTS FOR YOUR CONVENIENCE OR CONTACT SOMEONE  
OF YOUR CHOOSING.*

**Ordinance Code: Chapter 111-9 (G) - City of Glen Cove - Home improvement license and insurance requi**

(1) Each application for a building permit which proposes construction work to be performed by any contractor at a residential premises in the City of Glen Cove shall not be deemed complete, and no permit shall be issued, until the following are provided:

- (a) The name, address, phone number and the Nassau County home improvement license number of such contractor, which license shall be in force and effect on the date of the application.
  - (b) Suitable proof of New York State workers' compensation insurance issued to such contractor, which shall be in force and effect on the date of the application or, in the alternative, a lawful waiver issued pursuant to state law.
  - (c) Suitable proof of personal liability and property liability insurance issued to such contractor in an amount not less than \$300,000 each occurrence and \$600,000 in the aggregate, which shall be in force and effect on the date of the application.
- (2) The aforementioned provisions also shall apply to any subcontractor who performs work at any residential premises in the City of Glen Cove.



*LICENSED CONTRACTOR INFORMATION MUST BE PROVIDED AS PER CODE STATED  
ABOVE.*

**Ordinance Code: Chapter 280-58(D-3&5) - City of Glen Cove - R-3A Six-Thousand-Five-Hundred-Square  
Lot area and building requirements for accessory uses.**

**(5) Minimum distance to side property line: three feet.**

*ACCESSORY STRUCTURES MUST MEET ZONING REGULATIONS AS STATED ABOVE.*

---

**Office Use Only**

**SERVICE OF PROCESS:**

☐ **CERTIFIED MAIL**

☒ **U.S. POSTAL SERVICE/CERTIFICATE OF MAILING.**

☐ **DELIVERY TO PERSONS OF SUITABLE AGE AND DISCRETION.**

**OFFICE HOURS:**

Mon-Fri: 9am-5pm

Telephone: (516) 676-4448

Fax: (516)-759-6711



Timothy Tenke  
Mayor

Phone: (516) 676-2000  
Fax: (516) 676-0108



**CITY OF GLEN COVE**

City Hall  
9 Glen Street  
Glen Cove, NY 11542-4106

**BUILDING DEPARTMENT**

**Date:** August 18, 2020  
**To:** The Chairman and Members of the Board of Appeals  
**Application:** BBQ Area with Arbor  
**Address:** 18 Roosevelt Street  
**Type of USE:** Residential Single Family

SECTION	BLOCK	LOT	ZONE
31	14	177-178	R3A

---

**DESCRIPTION OF CONSTRUCTION WORK TO BE PERFORMED:**

Proposed 35 SF BBQ area with wood Arbor

**DENIED for the following reasons:**

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Pursuant to the Municipal Code of the City of Glen Cove, § 280-58 R-3A Six-Thousand-Five-Hundred-Square-Foot-One-Family Residence District. (B)

(1) Minimum lot area: 6,500 square feet.

**EXISTING LOT AREA IS 5,000 SF**

**Variance 1**

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(10) Maximum coverage 20%

**APPLICANT IS PROPOSING 29.8%**

**Variance 2**

Pursuant to the Municipal Code of the City of Glen Cove, § 280-58 R-3A Six-Thousand-Five-Hundred-Square-Foot-One-Family Residence District. (D)

(4) Minimum distance to front property line: 65 feet

**APPLICANT IS PROPOSING 63.2 feet**

**Variance 3**

Pursuant to the Municipal Code of the City of Glen Cove, § 280-58 R-3A Six-Thousand-Five-Hundred-Square-Foot-One-Family Residence District. (D)

(5) Minimum distance to side property line: three feet

**APPLICANT IS PROPOSING two inches**


---

THIS IS FOR A ZONING BOARD APPLICATION ONLY. DOES NOT CONSTITUTE APPROVAL OF DRAWINGS SUBMITTED FOR CONSTRUCTION.

Please contact the Board of Appeals secretary Rosa Rizzo at 676-4448 for variance applications and requirements.

<b>(3) Variance(s) required</b>	<b>\$600.00</b>
---------------------------------	-----------------

Thank you,



**David Jimenez**  
Director – The City of Glen Cove Building Department

**OWNERS TAX MAP RADIUS WITHIN SUBJECT PROPERTY LINE**

<b><u>Section / Block / Lot</u></b>	<b><u>Name</u></b>	<b><u>Address</u></b>
31 / 14/ 205	Leslie Rose Kle	5 Grant Pl
31 / 14 / 206	Valerie Figliozi	5 Cleveland Pl
31 / 14/ 191/193	Angela Cangero	7 Cleveland Pl
31 / 14/ 194/196	Anton Polezhayev	9 Cleveland Pl
31 / 14/ 197/199	Salvatore Dimaggio	13 Cleveland Pl
31 / 14/ 200	Rosvaldon Dante Nieri	15 Cleveland Pl
31 / 14/ 204	Zausmer Family Ltd Partner	61 Cleveland Pl
31 / 14 / 6	Eugene & Dorothy Merkel	21 Cleveland Pl
31 14/ 7	John Burke	23 Cleveland Pl
31 / 14 / 10	Karl & Donna Vanallen	25 Cleveland Pl
31 / 14 /12	Beth & Joseph Ostrowski	2 Lincoln Pl
31 / 14 / 184/185	Christopher James Montello	10 Roosevelt St
31 / 14/ 181	Lester & Sciara Hilbert	14 Roosevelt St
31/ 14/ 179/180	Jason & Angela Delouker	16 Roosevelt St
31 / 14/ 175/176	Robert & Liliana Leblanc	20 Roosevelt St
31 / 14/ 173/174	Richard & Susan Cornell	22 Roosevelt St
31/ 14 / 170	Stephanie Reynolds	24 Roosevelt St
31 / 14 / 168/169	Michael & Kathleen Skillmore	26 Roosevelt St
31 / 14 / 166/167	Richard & Marion Voegtlen	28 Roosevelt St
31/14/164 165	Frederick Ruffen	30 Roosevelt St
31/ 14 / 162 163	Daniel & Colette Swift	32 Roosevelt St
31 / 14 / 160 161	Faith Meinero	34 Roosevelt St
31 / 14 / 158 159	Angelo & Luciano Simoniello	36 Roosevelt St



SCALE 1" = 100'

N 234 850 +

PL.

CLEVELAND

21.

LINCOLN

N 234 450 — E 2 099,800

+	E 2,100,500
---	-------------

1

GRANT

ST.

ROOSEVELT

— CONG      TIFFERETH      ISRAEL

[illegible]

NY PLANE COORDINATE SYSTEM

**LEGEND**

COUNTY LINE  
TOWN LINE  
VILLAGE LINE  
SCHOOL DISTRICT LINE  
PROPERTY LINE  
SPECIAL DISTRICT LINE  
BLOCK UNIT  
LOCATOR POINT  
TAX MAP PARCEL NO.  
CALCULATED ACREAGE  
SEED ACREAGE  
SCALED DIMENSION  
SEED DIMENSION  
REFERENCE MAPS  
MAP NO.

245  
356(C)  
1774  
1774  
1774  
183.43

**POLICE** DIST  
**WATER**  
**LIGHTING**  
**LIBRARY**  
**FIRE**

**FIRE PROTECTION** DIST  
**SANITARY**  
**REFUSE & GARBAGE**  
**REFUSE DISPOSAL**  
**SEWAGE COLLECTION**

**SPECIAL DISTRICTS** DIST  
**PUBLIC PARKING**  
**SEWER**  
**PARK**  
**IMPROVEMENT**  
**SIDEWALK**

**DRAINAGE** DIST  
**FIRE HYDRANT RENTAL**  
**GARBAGE**  
**ESCALATOR**  
**WATER POLLUTION CONTROL**  
County, College, Public HO-GO

**MUNICIPALITIES**  
TOWN OF  
HEMPSTEAD  
NORTH HEMPSTEAD  
OYSTER BAY  
CITY OF  
GLEN COVE  
LONG BEACH  
VILLAGE OF  
SCHOOL DISTRICT  
Glen Cove

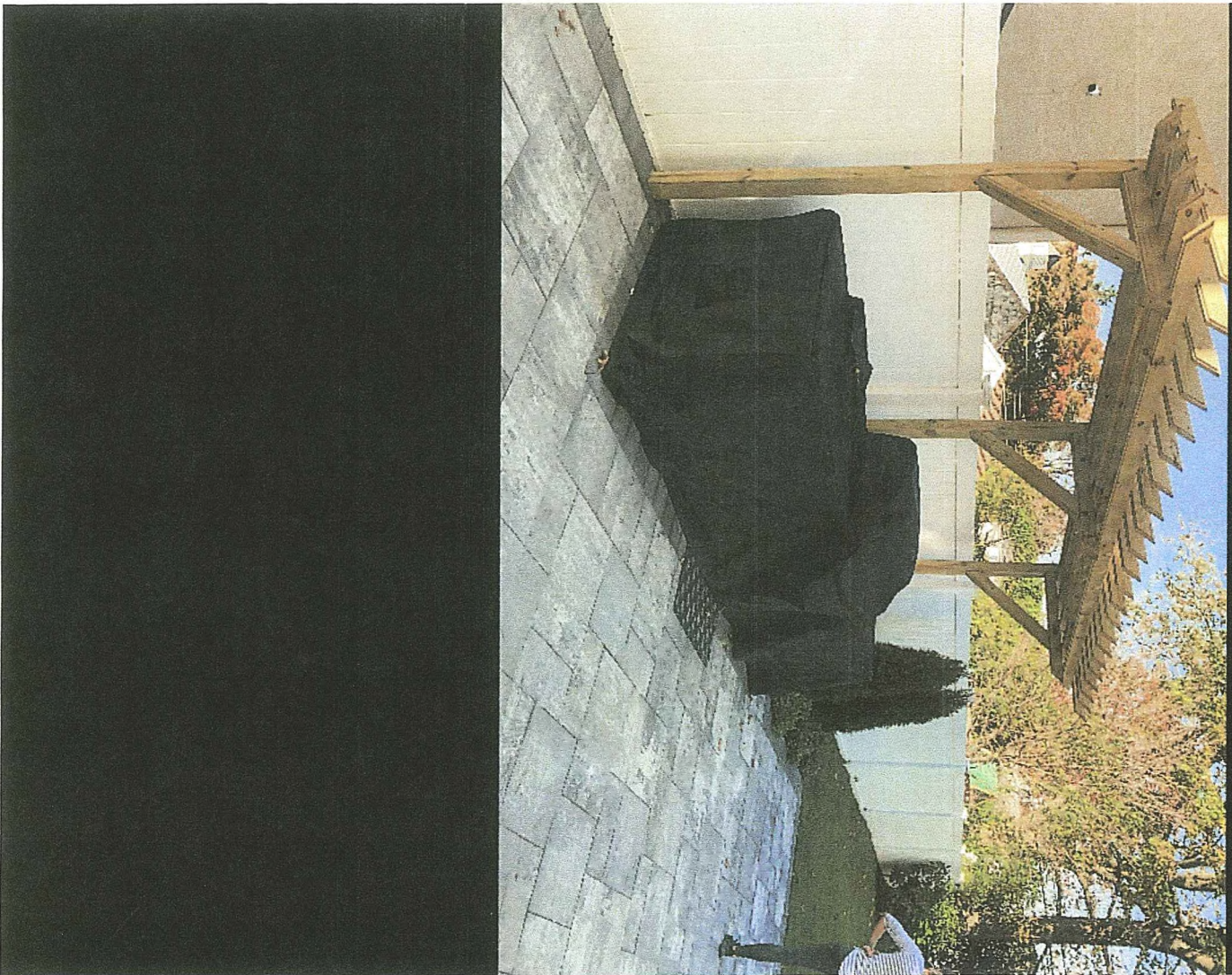
**Nassau County**  
**Department of Assessment**  
Charles O'Shea, Chairman  
**Land & Tax Map**  
Map Last Revised: December 9 2002

**SEC. 31**  
**BLK. 14**  
**SHEET 1 OF 1**

**SPECIAL** DISTRICT WITHIN



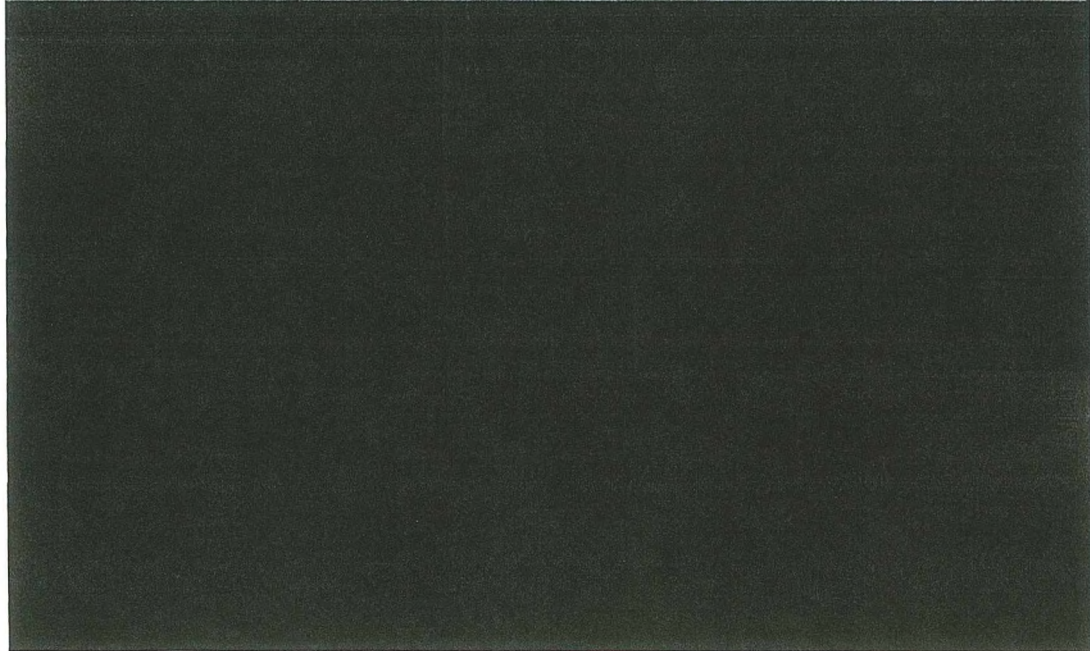
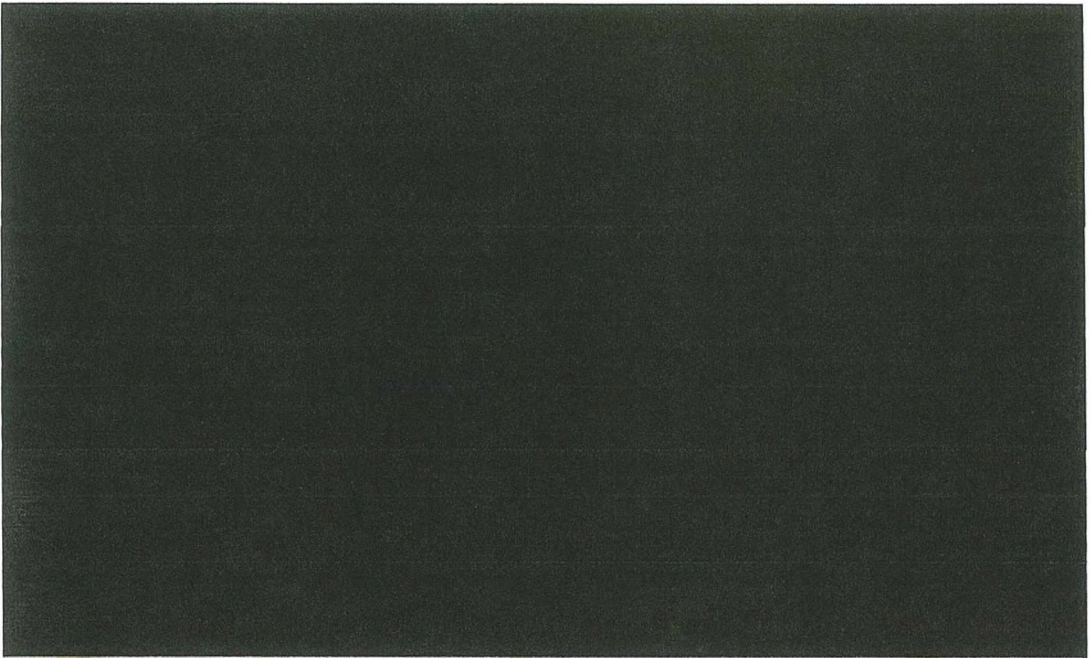












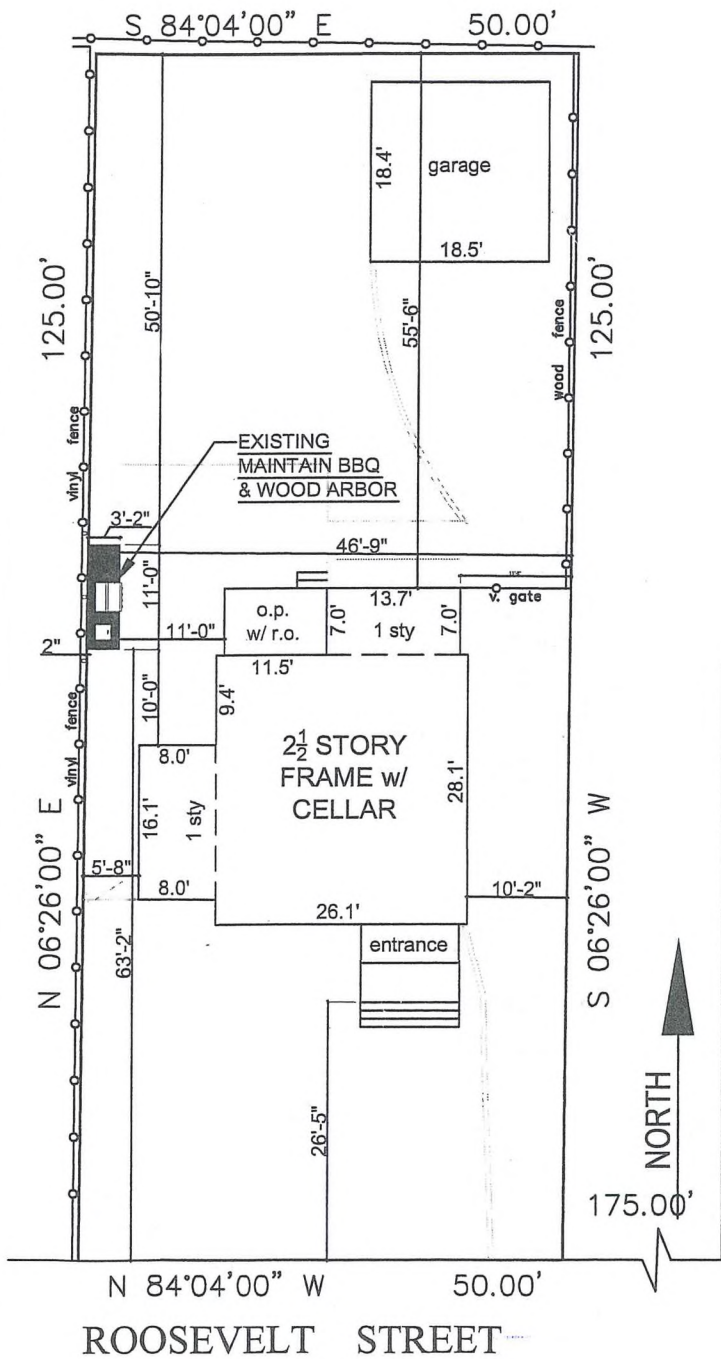






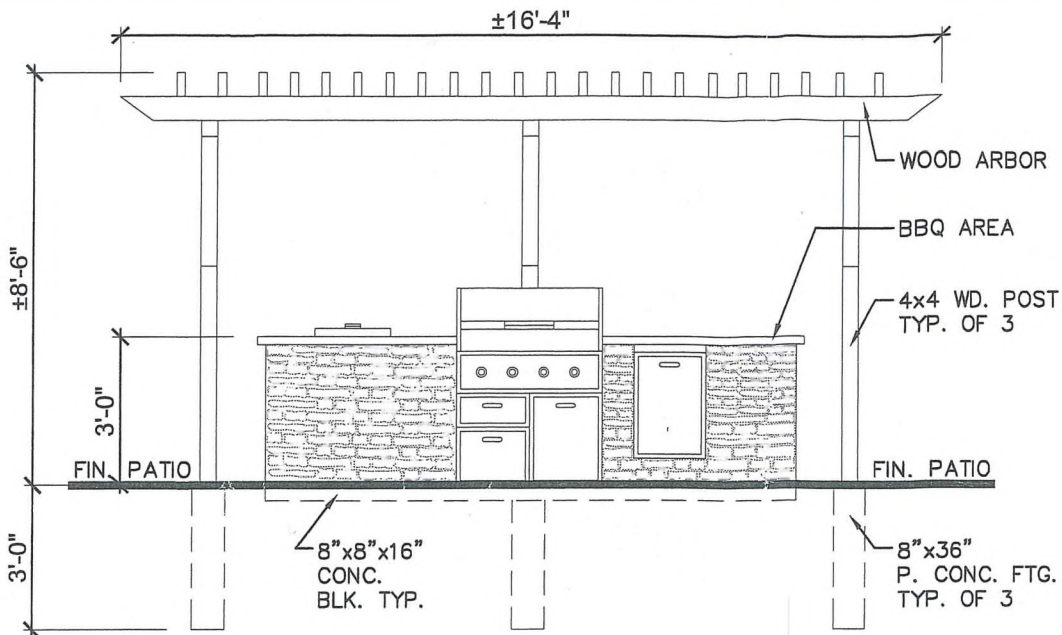
RAPONE RESIDENCE

18 ROOSEVELT STREET  
GLEN COVE, NY 11542  
ZONE: R-3A SEC: 31 BLK: 14 LOT: 177,178



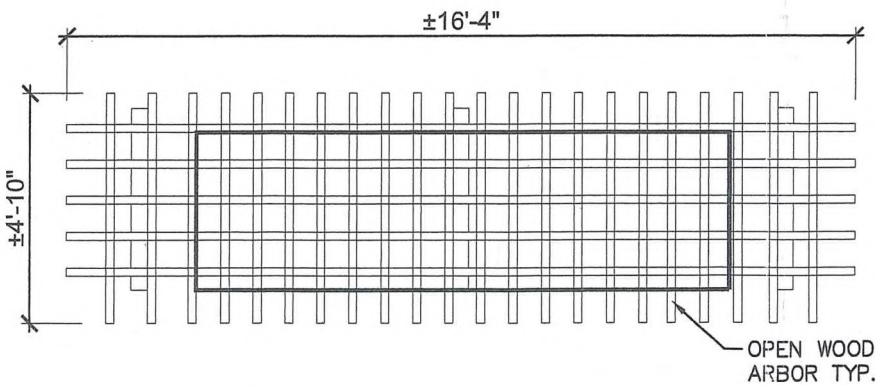
SITE PLAN

SCALE: 1" = 20'-0"



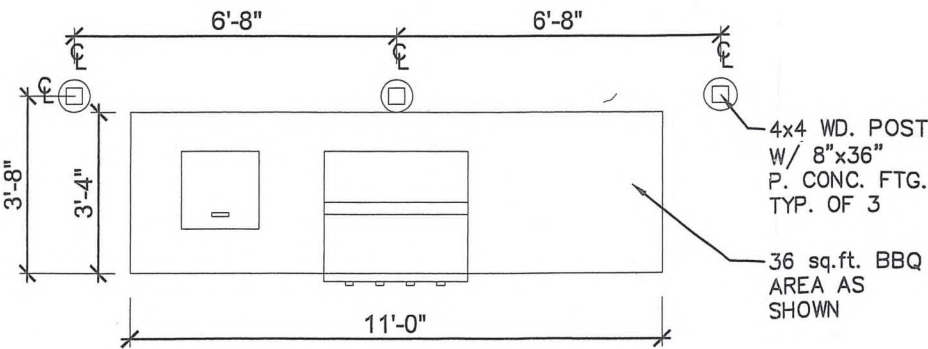
BBQ ELEVATION

SCALE: 1/4" = 1'-0"



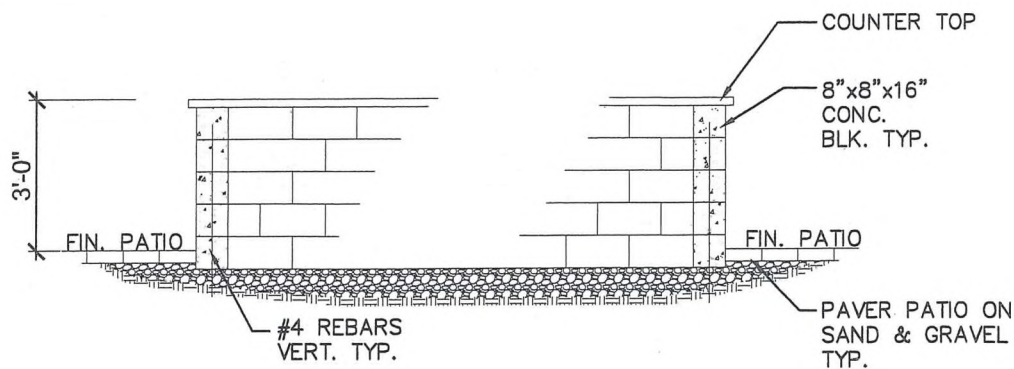
BBQ ROOF PLAN

SCALE: 1/4" = 1'-0"



BBQ FLOOR PLAN

SCALE: 1/4" = 1'-0"



CROSS SECTION DETAIL

SCALE: 1/4" = 1'-0"

City of Glen Cove - Nassau County, NY

ZONING CALCULATIONS			
ZONE: R-3A	SECTION: 31	BLOCK: 14	LOT(S): 177-178
Lot Area Minimum: 6,500.0 sf	Lot Area: 5,000.0 sf		
Lot Width Minimum: 65.0' ft.	Lot Width: 50.0' ft.		
	REQUIRED	EXISTING	PROPOSED
FRONT SETBACK	20'-0" MIN.	26'-5"	63'-2"
SIDE SETBACKS			NO CHANGE
-SIDE (1)	10'-0" (BTH MIN.)	10'-2"	NO CHANGE
-SIDE (2)		2"	2" @ BBQ
-AGGREGATE	20'-0" (AGGR.)	15'-10"	10'-4" W/ BBQ
REAR SETBACK	30'-0" MIN.	55'-6"	59'-10" @ BBQ
MAX HEIGHT			
-STORIES	2-1/2 STORIES	2-1/2 STORIES	NO CHANGE
-RIDGE	30'-0" MAX.		
MAXIMUM COVERAGE			
-20% MAX.	20% of 5,000sf = 1,000sq.ft.	MAINTAIN	1,488 sq.ft. = 29.8 %
-1st FLOOR		1,112 SF	
-GARAGE + BBQ	341 SF + 35 SF =	376 SF	
FLOOR AREA			
-1st FLOOR	5,000sq.ft. x1.5 = 1,500 sq.ft.	1,112 SF	NO CHANGE
-2nd FLOOR			
MAXIMUM FAR (1.5)			
ACCESSORY BLDG.			
FRONT SETBACK	65'-0" MIN.	63'-2"	MAINTAIN
WEST SIDE SETBACK	3'-0" (BTH MIN.)	0'-2"	MAINTAIN
EAST SIDE SETBACK	3'-0" (BTH MIN.)	46'-9"	MAINTAIN
REAR SETBACK	3'-0" MIN.	59'-10"	MAINTAIN
MAX HGT: ACCESSORY			
-STORIES	1 STORY	OPEN ROOF	MAINTAIN
-RIDGE	14'-0" MAX.	8'-6"	MAINTAIN
MAX CVRAGE- ACCESRY			
-10% MAX.	10% of 5,000sf = 500 sq.ft.	MAINTAIN	376 sq.ft. = 7.5 %
-GRGE: 500sf max.			
-EXISTING GARAGE	340 sq.ft.	340 sq.ft.	NO CHANGE
-EXISTING BBQ	36 sq.ft.	36 sq.ft.	MAINTAIN

GENERAL

1. ALL DIMENSION WERE MEASURED IN THE FIELD AND ARE OF ALL EXISTING CONDITIONS AS SHOWN ON THESE DRAWINGS TYPICAL.
2. CONSTRUCTION PLANS COMPLY WITH CURRENT CODES AND REGULATIONS:
  - 2020: NATIONAL ELECTRICAL CODES (NEC)
  - 2020: NEW YORK STATE CODE
  - 2020: NEW YORK STATE FIRE CODE

LEGEND

- 8" CONCRETE BLOCK FOOTING WALL W/ #4 CONT. REBARS VERT. TYP.
- 8"x36" P. CONCRETE FOOTING TYP.

NOTE:  
NO WORK TO COMMENCE UNTIL A  
BUILDING PERMIT IS ISSUED

REVISIONS		
DATE	DESCRIPTION	MARK

NEW YORK EDUCATION LAW  
IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER TO ALTER ANY ITEM ON THIS DRAWING AND/OR RELATED SPECIFICATIONS. ALL ALTERATIONS MUST BE MADE IN COMPLIANCE WITH THE NEW YORK STATE EDUCATION LAW. THE PROFESSIONAL ENGINEER WHOSE SEAL APPEARS HEREON ASSUMES NO RESPONSIBILITY FOR ANY SUCH ALTERATION OR REUSE WITHOUT HIS WRITTEN CONSENT.

FRANK SZALAJDA, P.E.  
158-A SEA CLIFF AVENUE  
GLEN COVE, NY 11542  
TEL/FAX: 516.671.1089

TITLE: RAPONE RESIDENCE  
18 ROOSEVELT STREET  
GLEN COVE, N.Y. 11542

PROJECT: EXISTING MAINTAIN  
BBQ AREA & WOOD ARBOR

SCALE: AS SHOWN

DESIGN BY: F.S.,G.G.

DRAWN BY: F.S.,G.G.

CHECKED BY: F.S.

DATE: 07/16/20

DRAWING NUMBER

A-1

SHEET NO.

1 of 1

