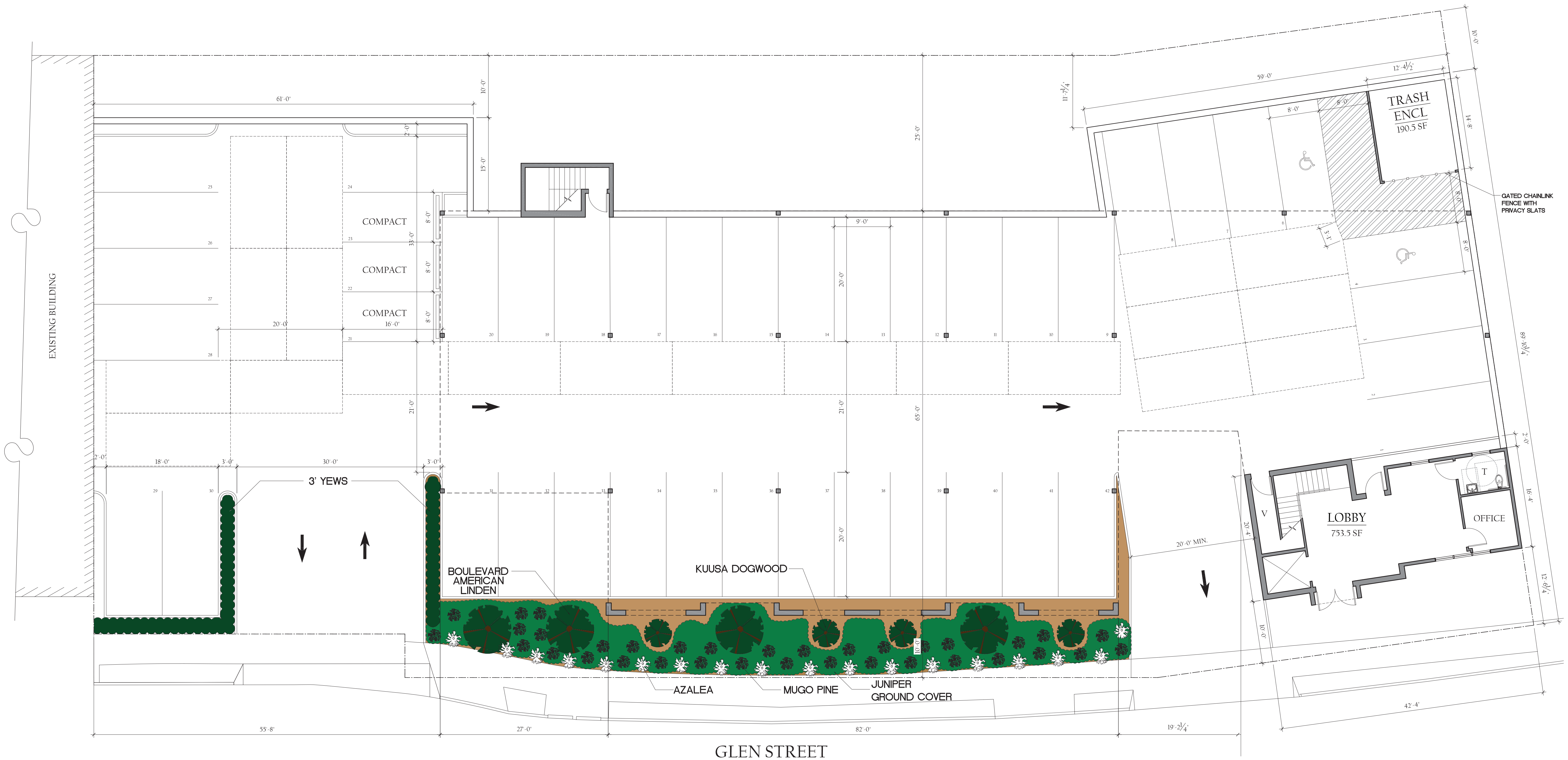
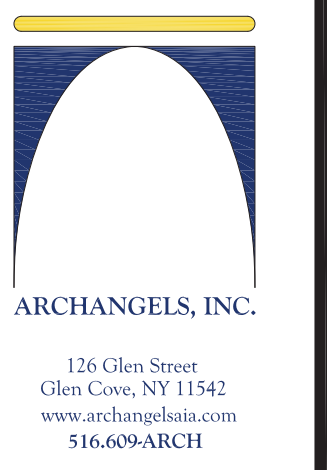


NR.	DATE	REVISION



1 PROPOSED SITE PLAN
SP-1 SCALE: 1/8"=1'-0"

TOTAL BUILDING AREA
1ST FLOOR: 1,072.5 SF



UNIT MIX/ PARKING CALCS

50 UNITS PER ACRE X 22,092.8 / 40,000 SF = 27.6 UNITS
+ 10% INCLUSIONARY = 2.7 UNITS
TOTAL: 30.3 UNITS
30 UNITS PROPOSED

9 STUDIO X 1 CAR = 9
18 1-BEDRM X 1.5 CAR = 27
3 2-BEDRM X 2 CARS = 6
42 REQUIRED
42 PROVIDED (+ 20 VALET PARKING)

PLANT LIST

SYM	COMMON NAME	QTY	SIZE	SPACING
ORNAMENTAL TREES				
KD	KUUSA DOGWOOD	4	4'-6" TALL	-
BAL	BOULEVARD AMERICAN LINDEN	4	8'-10" TALL	-
SHRUBS				
Y	YEWS	16	18-24" SP	3'-0" O.C.
DMP	DWARF MUGO PINE	35	18-24"	4'-0" O.C.
WDA	WHITE DELAWARE AZALEA	18	18-24"	4'-0" O.C.
GROUND COVER				
60	JAPANESE GARDEN JUNIPER	50	18-24"	3'-0" O.C.

GENERAL PLANTING NOTES

- ALL PLANT MATERIALS AND METHODS OF INSTALLATION SHALL CONFIRM TO THE AMERICAN ASSOCIATION OF NURSERYMEN, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
- ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING OR PAVEMENT, NOT INDICATED TO REMAIN UNDISTURBED, AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE LAWN, TYPE AS NOTED.
- ALL PLANTS NOT OTHERWISE DESIGNATED ARE TO BE DELIVERED B&B (BALLED AND BURLAPED). NO BARE ROOT OR FIELD CLUMP MATERIAL IS ALLOWED (EXCEPT BULBS AND DAYLILIES).
- LAYOUT SHRUBS IN APPROXIMATE LOCATIONS AND OBTAIN APPROVAL OF LANDSCAPE ARCHITECT (LS) BEFORE PLANTING. LA WILL PLACE ALL PERENNIALS AND INDICATE GROUND COVER SPACING IN THE FIELD.
- REPORT ANY UNSATISFACTORY CONDITIONS IMMEDIATELY TO THE OWNER OR LANDSCAPE ARCHITECT FOR RESOLUTION. CONTRACTOR SHALL RECEIVE NO ADDITIONAL PAYMENT FOR UNSATISFACTORY CONDITIONS REPORTED AFTER THE FACT OR AFTER COMPLETION OF PLANTING.
- ALL AREAS DISTURBED BY CONSTRUCTION TO BE REPAIRED OR RESTORED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- PLANTING SOIL MIXTURE: 2 PARTS NATIVE SOIL TO 2 PARTS TOPSOIL TO 1 PART ORGANIC COMPOST.
- ALL LAWN AREAS TO RECEIVE 4" TOPSOIL, PLANT AND ANNUAL BEDS 12" TOPSOIL.
- APPLY 15 LBS 5-10-10 FERTILIZER, 70 LBS LIMESTONE PER 1000 SF TO ALL NEW AREAS. ADJUST PER SOIL TEST.
- HYDRO SEED ALL SEEDED LAWN AREAS WITH VICTA KENTUCKY BLUEGRASS, 45% LORETTA PERENNIAL RYEGRASS 20%, PENNIN PERENNIAL RYEGRASS 20%, ANNUAL RYEGRASS 15% TACKIFIER AND HYDROMULCH IN ACCORDANCE WITH SPECIFICATIONS.
- ALL PLANTS AND WORKMANSHIP SHALL BE GUARANTEED AND MAINTAINED FOR ONE YEAR AFTER FINAL ACCEPTANCE AND COMPLETION OF WORK FOR THIS CONTRACT. ALL PLANTS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION. ANY PLANT NOT MEETING THESE CONDITIONS SHALL BE REPLACED WITH A PLANT OF SIMILAR SIZE AND TYPE AT THE NEXT PLANTING SEASON.
- ALL PLANTED AND GRASSED AREAS OF THE SITE TO BE IRRIGATED.
- ANY EXISTING TREE(S) SHOWN TO REMAIN WHICH ARE REMOVED DURING CONSTRUCTION SHALL BE REPLACED WITH A 4" CALIPER TREE(S) AS DIRECTED BY THE TOWN.
- LANDSCAPE MATERIAL SHOWN ON THE SITE PLAN SHALL BE MAINTAINED IN VIGOROUS GROWING CONDITION CONSISTENT WITH THE INTENT OF THE PLANTING. WHERE NECESSARY TO MEET THE INTENT OF THE APPROVED SITE PLAN, DEAD PLANTS SHALL BE REPLACED WITH HEALTHY NEW PLANTS OF SIZE, TYPE AND QUALITY COMPARABLE TO THOSE SHOWN ON THE APPROVED PLAN AT THE BEGINNING OF THE NEXT GROWING SEASON.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
- A CERTIFICATION SHALL BE SUBMITTED BY A QUALIFIED DESIGN PROFESSIONAL THAT ALL PLANTINGS HAVE BEEN PLANTED UNDER HIS DIRECTION AND IN ACCORDANCE WITH THE LANDSCAPING PLAN PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THE SIZE, NUMBER AND SPECIES OF PLANTS DEPICTED ON THE SITE PLAN SHALL REPRESENT A MINIMUM STANDARD TO BE MAINTAINED. THE APPLICANT/OWNER MAY FROM TIME TO TIME ENHANCE OR MODIFY THE TYPES OF PLANTINGS USED FOR AESTHETIC REASONS, BUT THE OVERALL SIZE, QUALITY, DENSITY AND EXTENT OF THE LANDSCAPED AREAS SHALL BE MAINTAINED.

Proposed:
115 GLEN STREET
GLEN COVE, NEW YORK

Drawing Title:
PROPOSED SITE PLAN

Drawing scale:
AS NOTED

Date:
JAN. 07, 2021

Drawing No.

SP-1



1 PROPOSED 2ND & 3RD FLOOR PLANS
 A-1 SCALE: 1/8"=1'-0" TOTAL BUILDING AREA EACH FLOOR: 9,727.0 SF



2 PROPOSED 4TH FLOOR PLAN
 A-1 SCALE: 1/8"=1'-0" TOTAL BUILDING AREA 4TH FLR: 9,771 SF

REVISIONS

NR.	DATE	REVISION



Proposed:
115 GLEN STREET
 GLEN COVE, NEW YORK

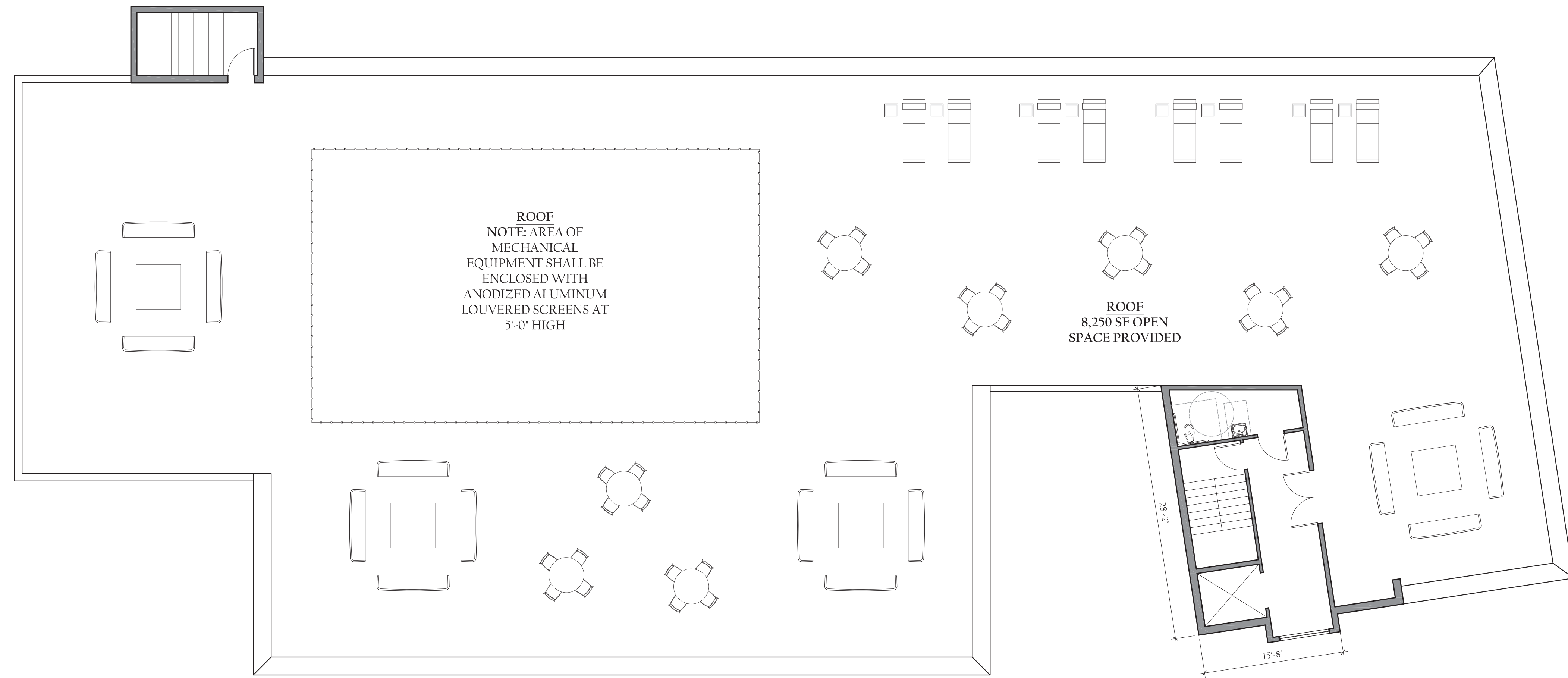
Drawing Title:
**PROPOSED
 2ND, 3RD & 4TH
 FLOOR PLANS**

Drawing scale:
 AS NOTED

Date:
 JAN. 07, 2021

Drawing No.

A-1



1
A-2
PROPOSED ROOF PLAN
SCALE: 1/8"=1'-0"

TOTAL BUILDING AREA
ROOF: 435.0 SF



2
A-2
PROPOSED SOUTH ELEVATION
SCALE: 1/8"=1'-0"

REVISIONS

NO.	DATE	REVISION



Proposed:
115 GLEN STREET
GLEN COVE, NEW YORK

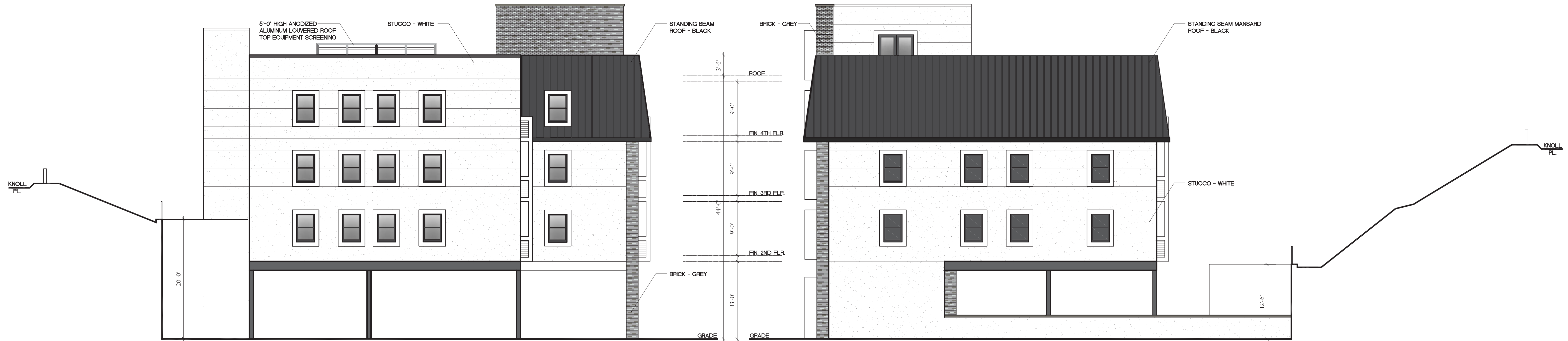
Drawing Title:
PROPOSED ROOF PLAN & EXTERIOR ELEVATION

Drawing scale:
AS NOTED

Date:
JAN. 07, 2021

Drawing No.

A-2



1 PROPOSED WEST ELEVATION
A-3 SCALE: 1/8"=1'-0"

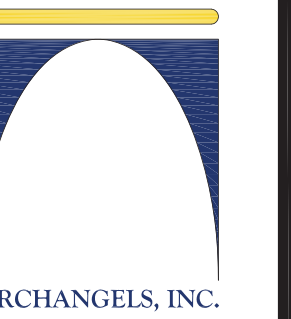
2 PROPOSED EAST ELEVATION
A-3 SCALE: 1/8"=1'-0"



3 PROPOSED NORTH ELEVATION
A-3 SCALE: 1/8"=1'-0"

REVISIONS

NR.	DATE	REVISION



126 Glen Street
Glen Cove, NY 11542
www.archangelsinc.com
516-609-ARCH

Proposed:
115 GLEN STREET
GLEN COVE, NEW YORK

Drawing Title:
PROPOSED
EXTERIOR
ELEVATIONS

Drawing scale:
AS NOTED

Date:
JAN. 07, 2021

Drawing No.

A-3