

David Jimenez, RA
Director of Building Department



Phone: (516) 320-7843
Fax: (516) 759-6711
www.glencoveny.gov

CITY OF GLEN COVE

City Hall
9 Glen Street
Glen Cove, New York 11542

BUILDING DEPARTMENT

Date: April 12, 2021
To: The Chairman and Members of the Board of Appeals
Application: **Messina – Maintain Pool, Deck, Patio, Gazebo, & Garage**
Address: 5 Viola Drive, Glen Cove, NY 11542
Type of USE: 1 Family Dwelling

SECTION	BLOCK	LOT	ZONE
23	61	6	R-2

DENIED for the following reasons:

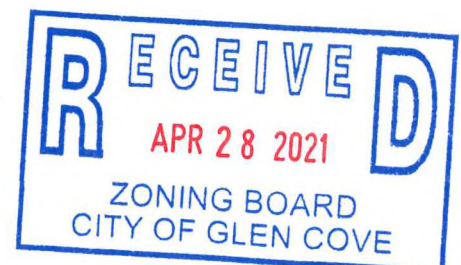
POOL

Variance 1

Pursuant to the Municipal Code of the City of Glen Cove, 280-56 R-2 Half-Acre Residence District.

D. (6) Minimum distance to front property line: 65 feet.

APPLICANT IS PROPOSING 45'-7"



GARAGE

Variance 2

D. Lot area and building requirements for accessory uses Lot area and building requirements for accessory uses shall be as follows:

(7) Minimum distance to side property line. five feet.

[Note: Rear Lot line as per 280-6(I)]

APPLICANT IS PROPOSING 1.1' (North) & 0.6' (South)

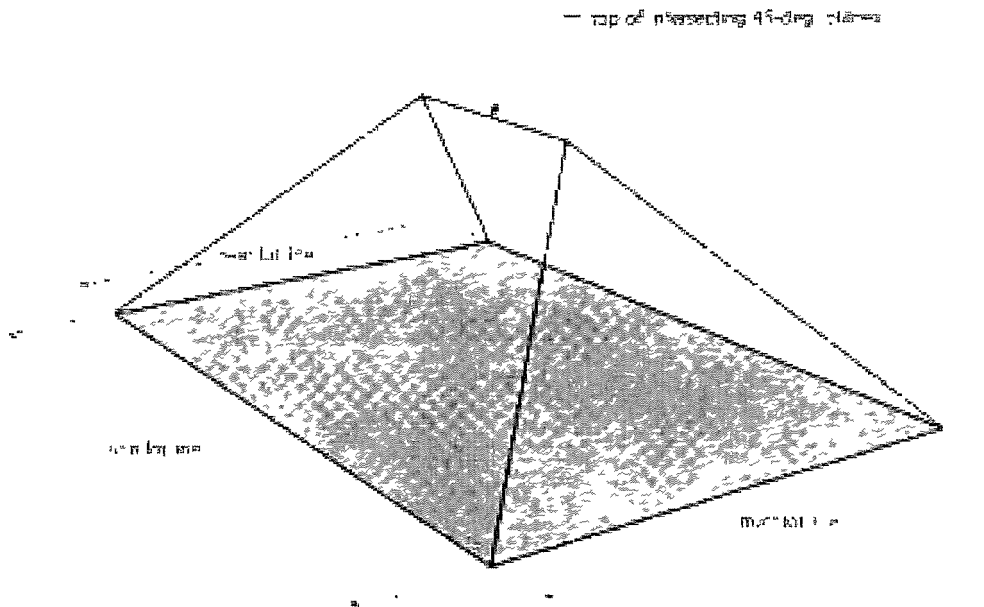
Variance 3

Pursuant to the Municipal Code of the City of Glen Cove, § 280-45 Regulations applicable to all districts.

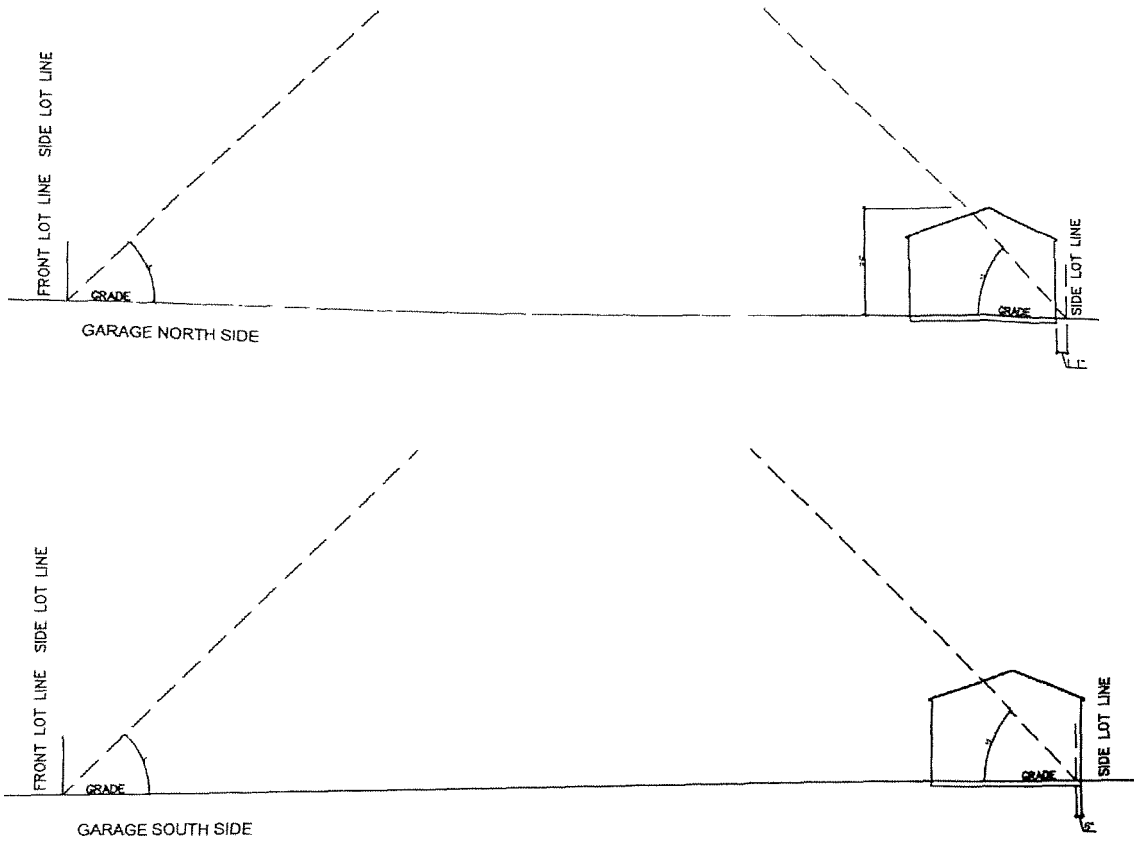
The following regulations shall apply to all districts.

R. Sky exposure planes.

(1) In the R-1A, R-1 and R-2 Districts, no portion of any structure shall extend above a set of sky exposure planes which shall include planes measured at a forty-five-degree angle beginning from the existing natural grade of the front, side, and rear lot lines. See below diagram.



APPLICANT IS PROPOSING



GARAGE SKY EXPOSURE PLANES

SCALE : 1/16" = 1'-0"

ALL STRUCTURES

Variance 4

B. Lot area and building requirements for accessory uses. Lot area and building requirements for accessory uses shall be as follows:

(10) Minimum coverage 15%

APPLICANT IS PROPOSING 15.4%

GAZEBO

Variance 5

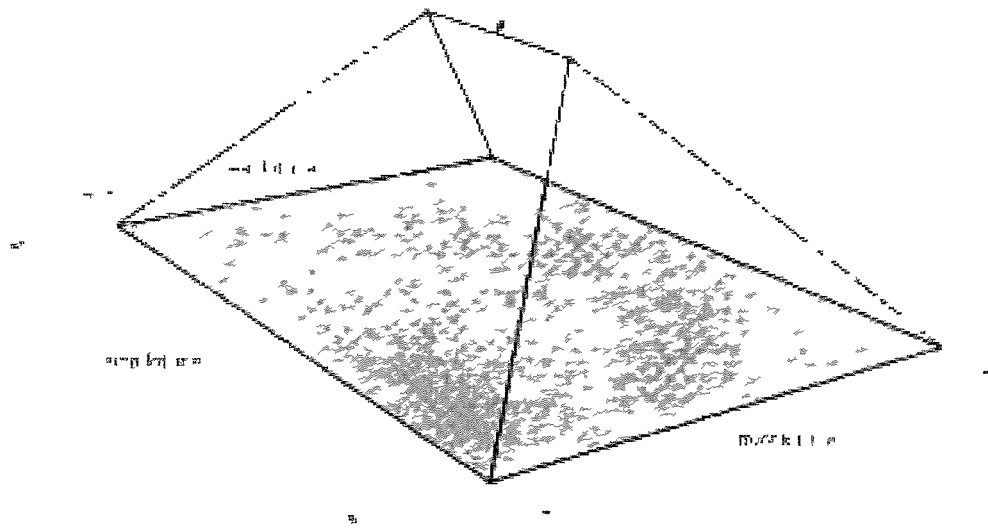
Pursuant to the Municipal Code of the City of Glen Cove, § 280-45 Regulations applicable to all districts.

The following regulations shall apply to all districts.

R. Sky exposure planes.

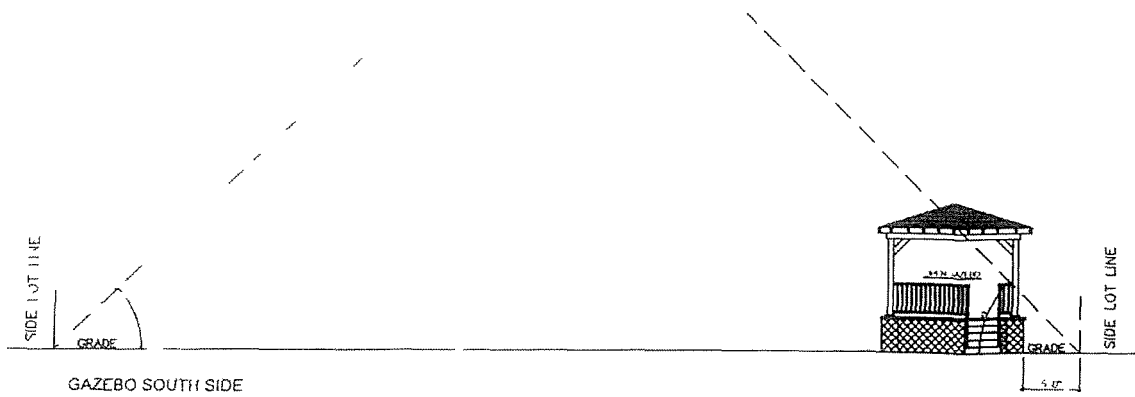
(1) In the R-1A, R-1 and R-2 Districts, no portion of any structure shall extend above a set of sky exposure planes which shall include planes measured at a forty-five-degree angle beginning from the existing natural grade of the front, side, and rear lot lines. See below diagram. (next page)

— top of intersecting 30-degree planes



COMPOSITE SKY EXPOSURE DIAGRAM

APPLICANT IS PROPOSING



GAZEBO SKY EXPOSURE PLANE

SCALE 1/16" = 1'-0"

THIS IS FOR A ZONING BOARD APPLICATION ONLY. DOES NOT CONSTITUTE APPROVAL OF DRAWINGS SUBMITTED FOR CONSTRUCTION.

Please contact the Board of Appeals secretary Rosa Rizzo at 676-4448 for variance applications and requirements.

(5) Variance(s) required	\$1,000.00
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Thank you,

A handwritten signature in black ink, appearing to read 'David Jimenez', with a large, sweeping flourish extending to the right.

David Jimenez

Director – The City of Glen Cove Building Department



CITY OF GLEN COVE
APPLICATION TO THE ZONING BOARD OF APPEALS
FOR AN AREA VARIANCE



1. Applicant hereby appeals to the City of Glen Cove Zoning Board of Appeals from the decision of the Building Department Director in denying a building permit for:

Maintain Existing Vinyl roof, Wood Deck, Raised patio,
Wood Gazebo, and Metal garage.

2. Applicant's Name, Address and phone number are:

Mario Messina
5 Viola Drive, Glen Cove, NY 11542

3. If the Applicant is NOT the owner of record, the Applicant is (circle one):

- a. contract vendee (attached copy of contract)
OR
b. the tenant (attach copy of lease)
OR
c. prospective tenant (attach copy of conditional
lease or binding letter of intent)

4. The address of the property which is the subject of this Application is:

5 Viola Drive, Glen Cove NY 11542

Nassau County Land & Tax Map designation is:

Section: 23 Block: 61 Lot: 6

City of Glen Cove Zoning District is: R-2

5. Applicant became the owner of the subject property on _____
by deed dated _____ recorded in Liber _____ Page _____

6. State whether the subject premises is located within 500 feet of the boundary line of any Village or Town, of any County or State Park, of any County or State parkway, thruway, expressway, road or highway, of any County stream or drainage channel, of any County or State owned land on which a public building or institution is situated, or of any farm operation located in an agricultural district.

Yes No

7. The Petitioner requests the following relief from the Board of Appeals:

Minimum Setbacks, Maximum Lot Coverage
and Sky Exposure Planes

8. The Applicant seeks variance(s) from [or challenges interpretation of] the following section(s) of the Zoning Chapter 280 :

280-56(D-6)(D-7), 280-45(B-10)(R-1)

9. a. State how the granting of the relief requested will benefit the applicant and why it is necessary.

The Subject Property is an Irregular odd shape lot and very
difficult to meet these requirements without requesting relief. By granting
this relief the owners can use the remaining property for green space,

b. State why the requested variance(s) will not cause an undesirable change in the character of the neighborhood or a detriment to nearby properties if the application is granted.

Subject property has only two Adjacent neighbors which
is well screened and Fencing all around the property. Both
neighbors are in favor of the application and Both signed
the affidavit letter,

c. State why the benefit sought cannot be achieved by some method feasible for the Applicant to pursue other than an area variance.

Subject property is an Irregular odd shape lot
and very hard to achieve owner's goals without
affecting the entire property use and area.

d. Describe the difference between the proposed dimensions and the Code requirement for each variance.

less than required Front yard setback, side yard setback
and Max Lot Coverage on subject property.

e. Explain why the requested relief will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.

Well Screened and Fencing all around property

10. Has the subject premises been the subject of prior applications for variances, special use permits and/or subdivisions?

Yes No

If 'Yes', please describe and provide written decisions, if any, on those prior applications.

11. State the names and phone numbers of any of the following licensed professionals who may appear at the public hearing representing the Applicant:

a. Attorney: _____

b. Architect: JOE GIOVANNIELLO

c. Engineer: (P.E.): FRANK SZCALAJDA

d. Certified Planner: _____

12. If the Applicant is a corporation, the Petitioner has adopted a resolution (copy attached) authorizing the following corporate officer to act on its behalf:

_____	_____
Name	Title

13. The approximate dimensions in linear feet of the subject premises (lot) are as follows:

a. Width: 173.87'

b. Depth: 209.10'

c. Size of lot (in acres): 0.46'

14. Are there current violations and/or criminal charges which relate to this Application pending against the subject premises and/or the Applicant?

Yes No

If 'Yes', please describe.

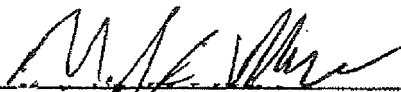
CASE 2020-159

15. Does the Applicant seek to legalize a use of land and/or structures and buildings which already exist?

Yes No

16. The Applicant represents that Applicant has received a copy of the Board's Rules of Procedure and acknowledges that Applicant has complied with said Rules in all respects as the same apply to this Application.

I HAVE READ THE FOREGOING APPLICATION AND UNDERSTAND THAT ANY FALSE STATEMENT MADE THEREIN IS PUNISHABLE AS A CLASS 'A' MISDEMEANOR PURSUANT TO SECTION 210.45 OF THE NEW YORK STATE PENAL LAW.



Applicant's Signature

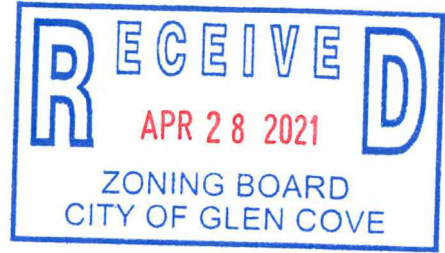
Date: 3/17/21

DISCLOSURE AFFIDAVIT

In the Matter of the Application of

MARIO J. MESSINA

Name of Applicant(s) (Exactly as name appears on deed, lease and/or contract)



for a variance, modification, revocation of declaration of restrictions, or (state other relief requested) which requires the favorable exercise of discretion by the Board mentioned below*

Affidavit of Certification by applicant pursuant to the provisions of Sec 809 of the General Municipal Law

BEFORE Board of Appeals of the City of Glen Cove

Refer to the preamble before completing this form.

Every applicant before the Board of Zoning Appeals, including an owner, lessee, agent and contract vendee must execute this Disclosure Affidavit.

STATE OF NEW YORK }
}ss.:
COUNTY OF NASSAU }

MARIO J. MESSINA, being duly sworn, Name (Exactly as name appears on deed, lease and/or contract), deposes and say(s)
* Strike out inapplicable phrases, letters or words and fill in where necessary

Your deponent(s) is (are) (an agent of) (an officer of) the applicant(s) in the above entitled proceeding (and) (who) is (are) the owner(s) in fee, (contract vendee) (lessee) or (describe other category) of the premises referred to in the application and is (are) interested in the outcome thereof (except as otherwise stated) and there are no other persons interested either in the fee ownership or as holder of an encumbrance upon the property

Your deponent's home address is as follows: 5 Viola Drive, Glen Cove NY 11542
(street) (town/city) (state) (zip)

TO BE COMPLETED BY BUSINESS - IF NOT APPLICABLE, PLEASE LEAVE BLANK

Your deponent is an officer, (office title)
of (name of corporation/company)

a corporation duly organized and existing under and by virtue of the laws of the State of New York, with its principal place of business at (street) (town/city) (state) (zip)

All officers directors and shareholders and their addresses are as follows

OFFICERS ADDRESS

(Blank lines for officer information)

DIRECTORS ADDRESS

(Blank lines for director information)

APPLICABLE TO BUSINESSES ONLY
(continued)

SHAREHOLDERS:

ADDRESS:

Your deponent is a (General) Partner of _____
a co-partnership (Limited Partnership) having a principal place of business at _____

comprising the following named (General) Partners, whose addresses are set opposite each partner's names:

NAME:

HOME ADDRESS:

TO BE ANSWERED BY ALL

Are any state officer(s) or any Officer(s) or employee(s) of the County of Nassau or of the City of Glen Cove or a Political Party Officer(s), interested in the favorable exercise of discretion of the Board of Zoning Appeals in the above-entitled proceeding?

* NO _____ YES
(initial required)

(If yes, please complete below)

NAME	POSITION	ADDRESS	NATURE & EXTENT OF INTEREST
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

MARIO J. MESSINA
PRINT NAME (Exactly as it appears on deed, lease and/or contract)


Signature

Sworn to before me this
21st day of Apr., 2021
Barbara Truglio

Notary Public
BARBARA TRUGLIO
Notary Public, State of New York
No. 4700338
Qualified in Nassau County
Commission Expires Dec. 31, 2021

PRINT NAME (if more than one owner or applicant)

Signature

Mach 19, 2021

City of Glen Cove
Zoning Board of Appeals
9 Glen Street
Glen Cove, NY 11542

Re: Mario Messina
5 Viola Drive
Glen Cove, NY 11542
ZBA Appeal No.

To whom it may concern:

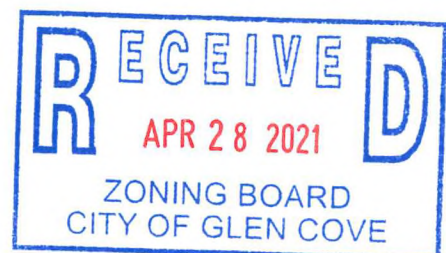
I am aware that Mario Messina, owner of property located at 5 Viola Drive, Glen Cove, NY 11542 is requesting a variance to maintain existing constructed vinyl pool, wood deck, raised patio area, wood gazebo, and a rear metal garage with less than the required front and side yard setback, and with the exceeding maximum lot coverage. I fully understand what Mr. Messina has presented to me and I give my consent and approval to the above referenced application.

Lot 8: Rocco Romito & Marie Kim

Signature: *Ruth Cibile*

Address: 200 Duck Pond Road, Glen Cove, NY 11542

Phone #: 516 671-0093



Mach 19, 2021

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Zoning Board of Appeals
9 Glen Street
Glen Cove, NY 11542

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5 Viola Drive
Glen Cove, NY 11542
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Lot 2: Jerry & Joan Hertz

Signature: _____

Address: 4 Viola Drive, Glen Cove, NY 11542

Phone #: _____

516-759-6025



Mach 19, 2021

City of Glen Cove
Zoning Board of Appeals
9 Glen Street
Glen Cove, NY 11542

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5 Viola Drive
Glen Cove, NY 11542
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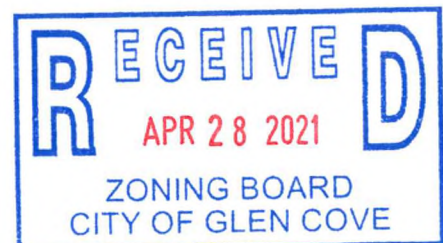
Lot 7: Sunzhong Gao & Jingping Bao

Signature: _____

Address: 1 Viola Drive, Glen Cove, NY 11542

Phone #: _____

718 501 3666



Mach 19, 2021

City of Glen Cove
Zoning Board of Appeals
9 Glen Street
Glen Cove, NY 11542

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5 Viola Drive
Glen Cove, NY 11542
ZBA Appeal No.

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Lot 3: Mary Figiniolo

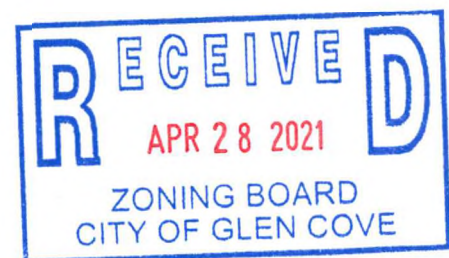
Signature: _____



Address: 6 Viola Drive, Glen Cove, NY 11542

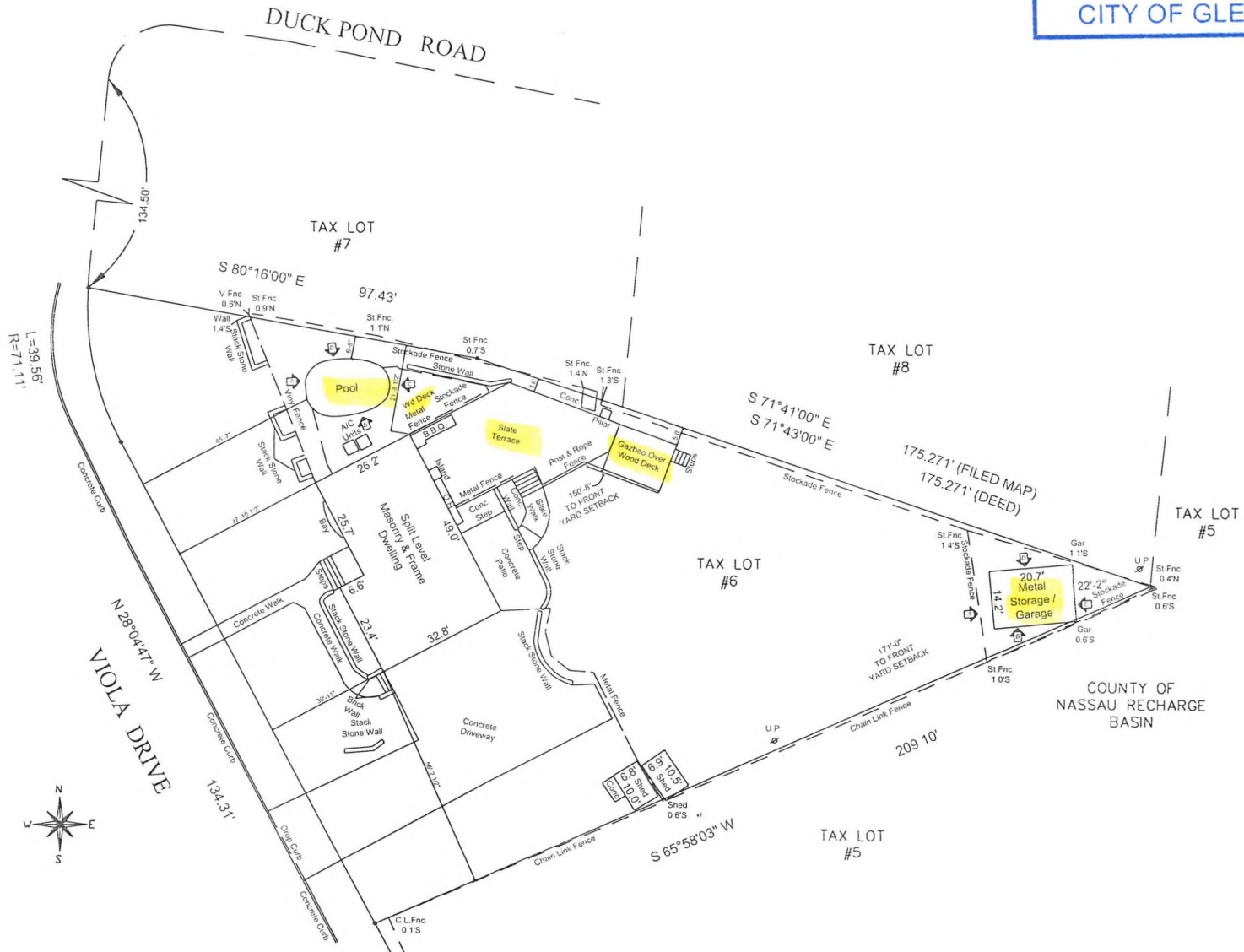
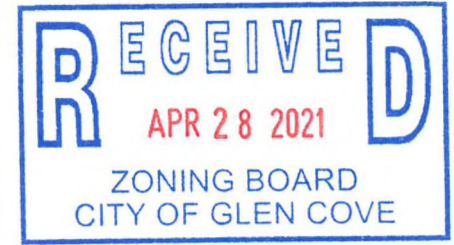
Phone #: _____

516-225-6950



MESSINA RESIDENCE

5 Viola Drive, Glen Cove, NY 11542
 ZONE: R-3 SECTION: 21 BLOCK: 44 LOT: 245



PLOT PLAN
 SCALE 1"=20'-0"

OWNERS WITHIN 300' OF SUBJECT PROPERTY

Section 23 Block H

<u>Lot</u>	<u>Name</u>	<u>Address</u>
490	North Shore Wildlife Sanctuary	63 Midway Avenue, Locust Valley, NY 11560

Section 23 Block 45

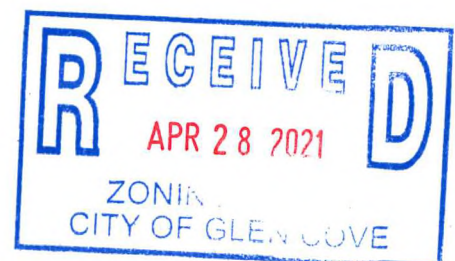
<u>Lot</u>	<u>Name</u>	<u>Address</u>
9	Deborah & Nicole Valverde	12 Viola Drive, Glen Cove, NY 11542
11	Francesco & Pasqualina Monaco	3 Helen Place, Glen Cove, NY 11542
24	Roberto Telese	10 Viola Drive, Glen Cove, NY 11542
25	Francesco & Pasqualina Monaco	3 Helen Place, Glen Cove, NY 11542

Section 23 Block 60

<u>Lot</u>	<u>Name</u>	<u>Address</u>
1	Nikolas Kladias	2 Viola Drive, Glen Cove, NY 11542
2	Jerry & Joan Hertz	4 Viola Drive, Glen Cove, NY 11542
3	Mary Figiuolo	6 Viola Drive, Glen Cove, NY 11542
4	County of Nassau	1 West Street, Mineola, NY 11501
8	Kim & Deborah Fennebresque	140 Duck Pond Road, Glen Cove, NY 11542

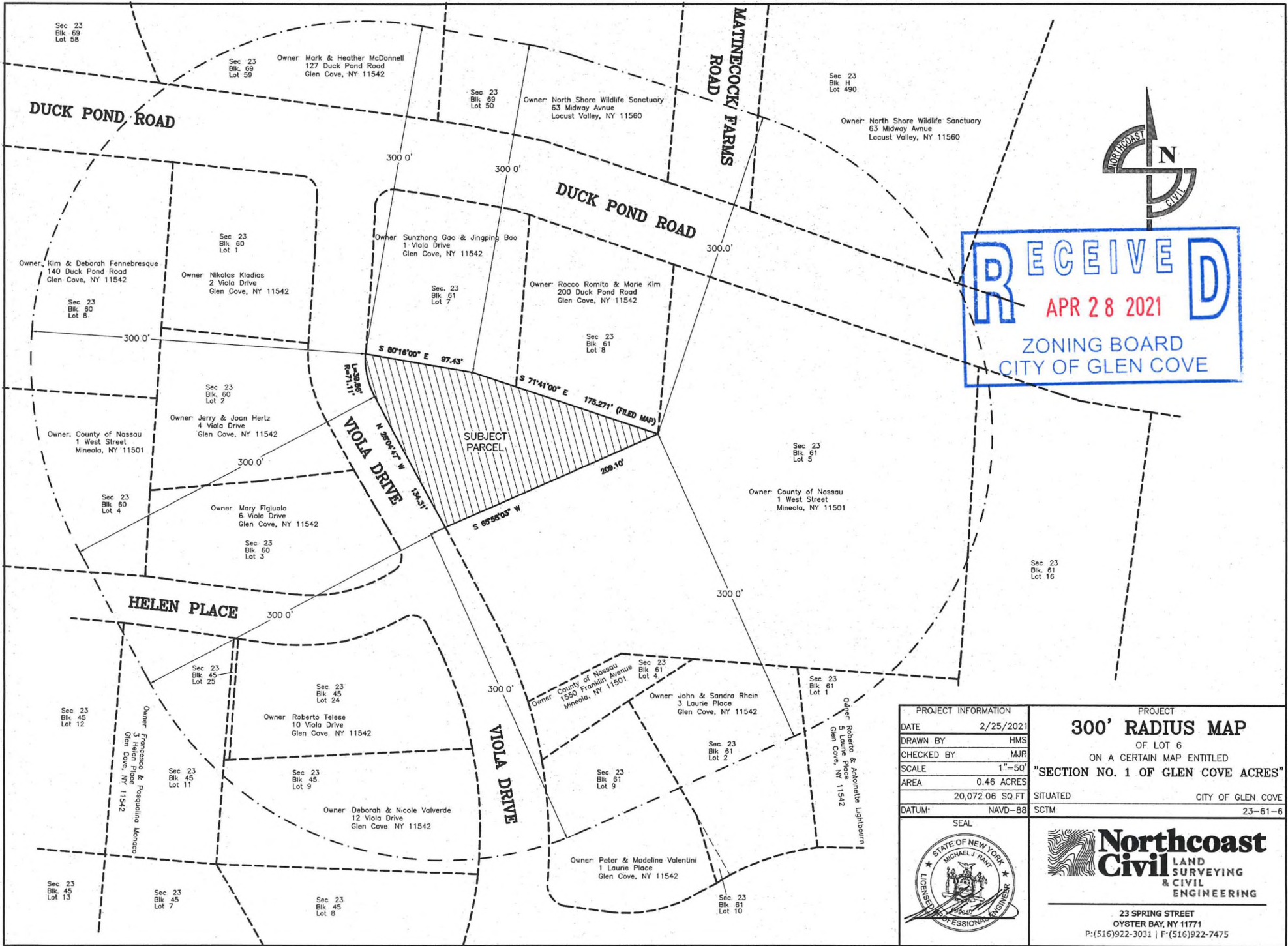
Section 23 Block 61

<u>Lot</u>	<u>Name</u>	<u>Address</u>
1	Robert & Antoinette Lightbourn	5 Laurie Place, Glen Cove, NY 11542
2, 10	John & Sandra Rhein	3 Laurie Place, Glen Cove, NY 11542
4	County of Nassau	1550 Franklin Avenue, Mineola, NY 11501
5	County of Nassau	1 West Street, Mineola, NY 11501
7	Sunzhong Gao & Jingping Bao	1 Viola Drive, Glen Cove, NY 11542
8	Vincent & Loretta Condello	198 Duck Pond Road, Glen Cove, NY 11542
9	Peter & Madeline Valentini	1 Laurie Place, Glen Cove, NY 11542
16	Rocco Romito & Marie Kim	200 Duck Pond Road, Glen Cove, NY 11542



Section 23 Block 69

<u>Lot</u>	<u>Name</u>	<u>Address</u>
50	North Shore Wildlife Sanctuary	63 Midway Avenue, Locust Valley, NY 11560
59	Mark & Heather McDonnell	127 Duck Pond Road, Glen Cove, NY 11542



RECEIVED

APR 28 2021

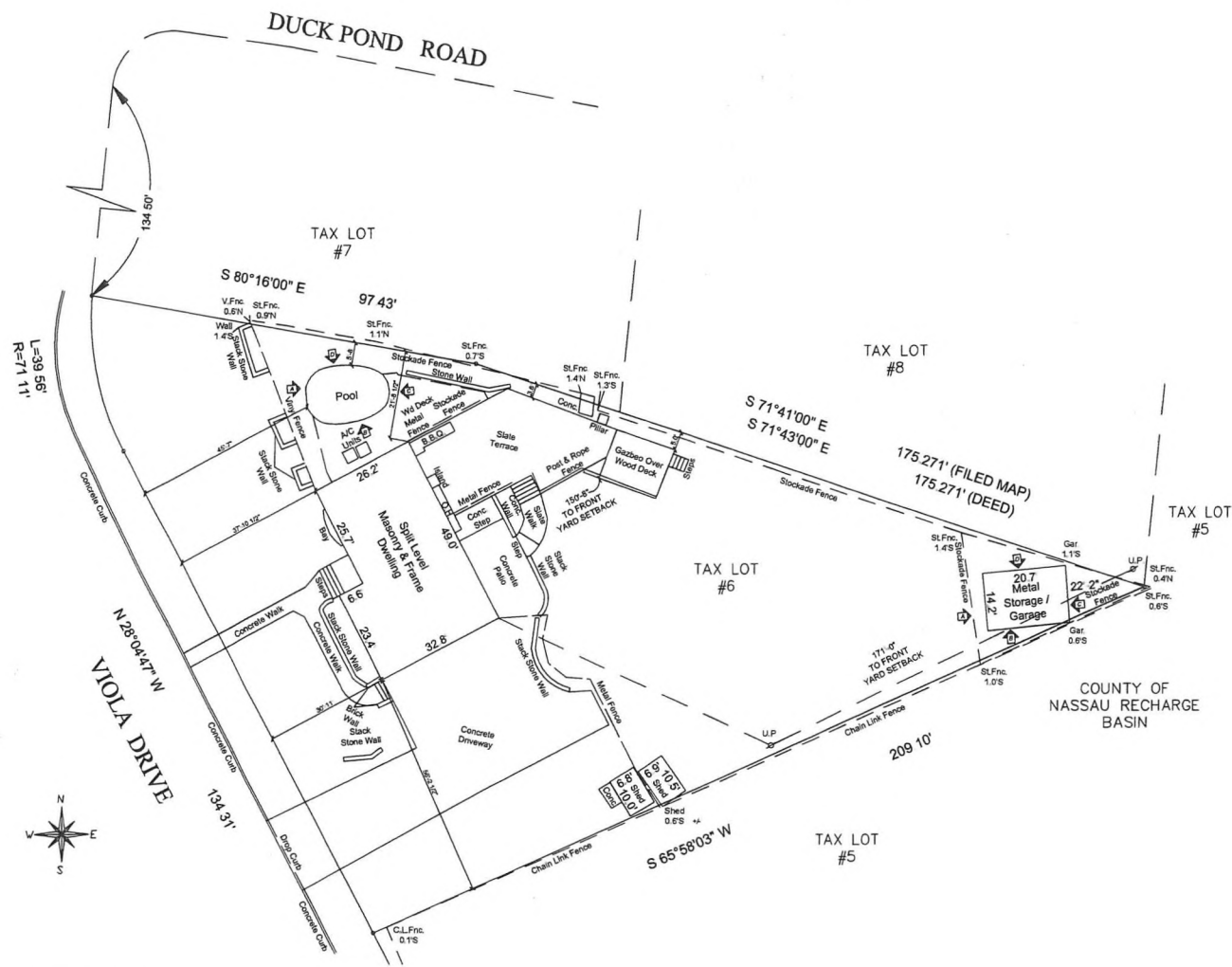
ZONING BOARD
CITY OF GLEN COVE

PROJECT INFORMATION	PROJECT
DATE: 2/25/2021	<p style="font-size: 1.5em; font-weight: bold;">300' RADIUS MAP</p> <p>OF LOT 6 ON A CERTAIN MAP ENTITLED "SECTION NO. 1 OF GLEN COVE ACRES"</p> <p>SITUATED CITY OF GLEN COVE</p> <p style="text-align: right;">23-61-6</p>
DRAWN BY: HMS	
CHECKED BY: MJR	
SCALE: 1"=50'	
AREA: 0.46 ACRES	
DATUM: NAVD-88	
<p>SEAL</p> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;"> <p style="font-weight: bold; font-size: 1.2em;">Northcoast Civil</p> <p>LAND SURVEYING & CIVIL ENGINEERING</p> <p style="font-size: 0.8em;">23 SPRING STREET OYSTER BAY, NY 11771 P: (516)922-3031 F: (516)922-7475</p> </div> </div>	

MESSINA RESIDENCE

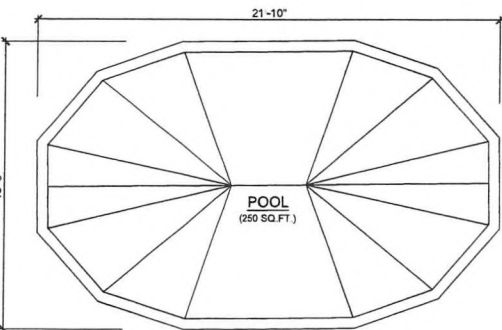
5 Viola Drive, Glen Cove, NY 11542
 ZONE: R-3 SECTION: 21 BLOCK: 44 LOT: 245

City of Glen Cove- Nassau County, NY



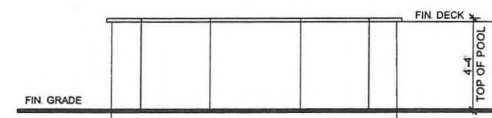
SITE PLAN

SCALE 1"=20'-0"



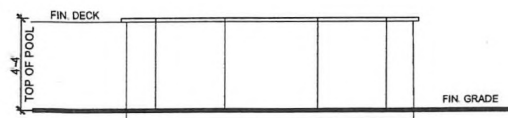
POOL PLAN

SCALE 1/4"=1'-0"



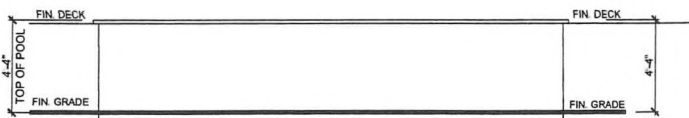
POOL FRONT ELEVATION

SCALE 1/4"=1'-0"



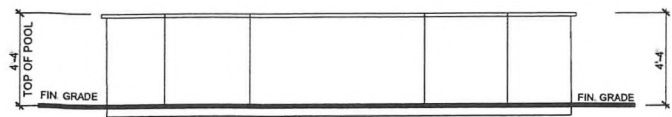
POOL REAR ELEVATION

SCALE 1/4"=1'-0"



POOL RIGHT SIDE ELEVATION

SCALE 1/4"=1'-0"



POOL LEFT SIDE ELEVATION

SCALE 1/4"=1'-0"

ZONING CALCULATIONS			
ZONE R-2	SECTION 23 BLOCK 061 LOT 6		
Lot Area Required	20,000.0 sf	min Lot Area Proposed	20,072 sf
Lot Width Required	100.0 ft	Lot Width Proposed	173.87 ft
PRINCIPAL BLDG.			
FRONT SETBACK	30'-0" MIN	30'-11"	NO CHANGE
SIDE SETBACKS			
-SIDE (1)	20'-0"(BTH MIN)	44'-10"	NO CHANGE
-SIDE (2)		56'-2"	NO CHANGE
-AGGREGATE	40'-0"(AGGR)	101'-0"	NO CHANGE
REAR SETBACK	25'-0" MIN	101'-0"	NO CHANGE
MAX HEIGHT			
-STORIES	2-1/2 STORIES	1 STORY	NO CHANGE
-RIDGE	30'-0" MAX		NO CHANGE
FLOOR AREA			
EXIST HOUSE SF	15 x Max Lot Coverage	1,359 SF	NO CHANGE
MAXIMUM COVERAGE			
15% MAX	15% of 20,072 sf = 3,010.8 sq ft	3,093 sq ft = 15.4 %	3,093 sq ft = 15.4 %
ACCESSORY BLDG.			
POOL (250 SF)			
FRONT SETBACK	65'-0" MIN	45'-7"	45'-7"
SIDE SETBACKS	5'-0"(BTH MIN)	5'-8"	5'-8"
REAR SETBACK	5'-0" MIN	26'-6"	26'-6"
GAZEBO (190 SF)			
FRONT SETBACK	65'-0" MIN	150'-8"	150'-8"
SIDE SETBACKS	5'-0"(BTH MIN)	5'-0"	5'-0"
REAR SETBACK	5'-0" MIN	5'-0"	5'-0"
REAR GARAGE (294 SF)			
FRONT SETBACK	65'-0" MIN	171'-0"	171'-0"
SIDE SETBACKS	5'-0"(BTH MIN)	1'-1"	1'-1"
REAR SETBACK	5'-0" MIN	22'-2"	22'-2"
RAISED DECK AREA (418 SF)			
RAISED PATIO AREA (932 SF)			
MAX HGT- ACCESSORY			
GAZEBO-STORIES	1 STORY	1 STORY	1 STORY
GAZEBO-RIDGE	16'-0" MAX	13'-3"	13'-3"
REAR GARAGE-STORIES			
REAR GARAGE-RIDGE	16'-0" MAX	10'-0"	10'-0"
MAX CVRAGE- ACCESSORY			
10% MAX	10% of 20,072 sf = 2,007.2 sq ft	1,834 sq ft = 9.13 %	1,834 sq ft = 9.13 %
GAZEBO, RAISED PATIO, WOOD DECK & REAR GARAGE			

GENERAL

- CONTRACTOR TO V.I.F. DIMENSION IN FIELD OF EXISTING CONDITIONS TYPICAL
- GLAZING STANDARDS- ALL WINDOWS AND GLAZING EXTERIOR DOORS SHALL HAVE IMPACTED RESISTANT GLAZING TO PROTECT FROM WIND-BORN DEBRIS (120 MPH WIND SPEED) PER ASTM E 1996 AND ASTM E 1886
- PROVIDE FIRE BLOCKING IN ALL NEW WALL & ROOF PENETRATIONS TYPICAL
- ALL INSULATION TO BE IN COMPLIANCE w/ R320 SEE SECTIONS FOR DETAILS
- OPENING PROTECTIVES- CONTRACTOR SHALL PROVIDE 1/2" PY WOOD OPENING PROTECTIVE PANELS FOR ALL NEW WINDOWS AND DOORS. PANELS SHALL BE PRE DRILLED FOR INSTALLATION A PERMITTED IDENTIFICATION TAG SHALL BE INSTALLED ON THE WINDOW OR DOOR FRAME AND THE CORRESPONDING OPENING ALL PANELS SHALL BE SCURRED WITH 2 1/2" # 8 WOOD SCREWS @ 12" O.C.
- THE LIGHT AND VENTILATION IN THIS NEW ADDITION DOES COMPLY WITH THE NEW YORK STATE CODE
- ALL TIMBER TO BE DOUGLAS FIR LUMBER
- THESE PLANS ARE IN COMPLIANCE WITH THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE
- CONTRACTOR TO COMPLY WITH DETAILS ON CONNECTIONS SHEET
- CONSTRUCTION PLANS COMPLY WITH CURRENT CODES AND REGULATIONS
 - 2020 NATIONAL ELECTRICAL CODES (NEC)
 - 2020 NEW YORK STATE FIRE CODE
 - 2020 NEW YORK STATE CODE

LEGEND

- NEW 2"x4" WOOD STUD WALLS @ 16" O.C. w/ 1/2" GYP BRD ON INTERIOR WALLS & SIDES. SOLID WOOD BLOCKING @ MIDPOINT OF STUDS, W/ R-15 INSUL.
- EXISTING STUD WALLS TO REMAIN
- EXISTING STUD WALLS TO BE REMOVED
- S.D. SMOKE DETECTOR ALARM
- C.M. CARBON MONOXIDE DETECTOR ALARM

NOTE:
 NO WORK TO COMMENCE UNTIL A BUILDING PERMIT IS ISSUED

REVISIONS		
DATE	DESCRIPTION	MARK

GG DESIGN
 G. GIOVANNIELLO DESIGN LLC

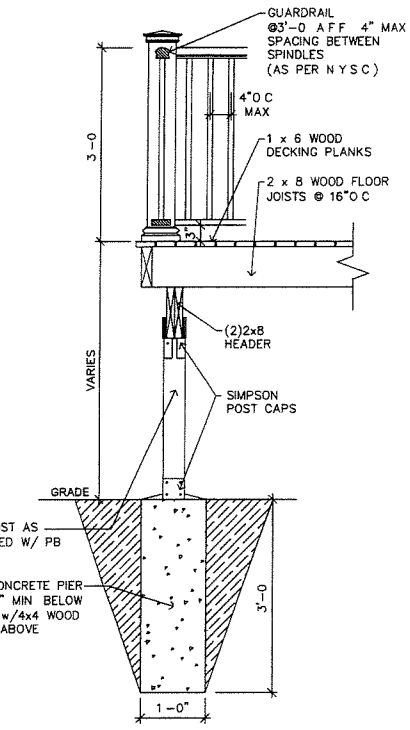
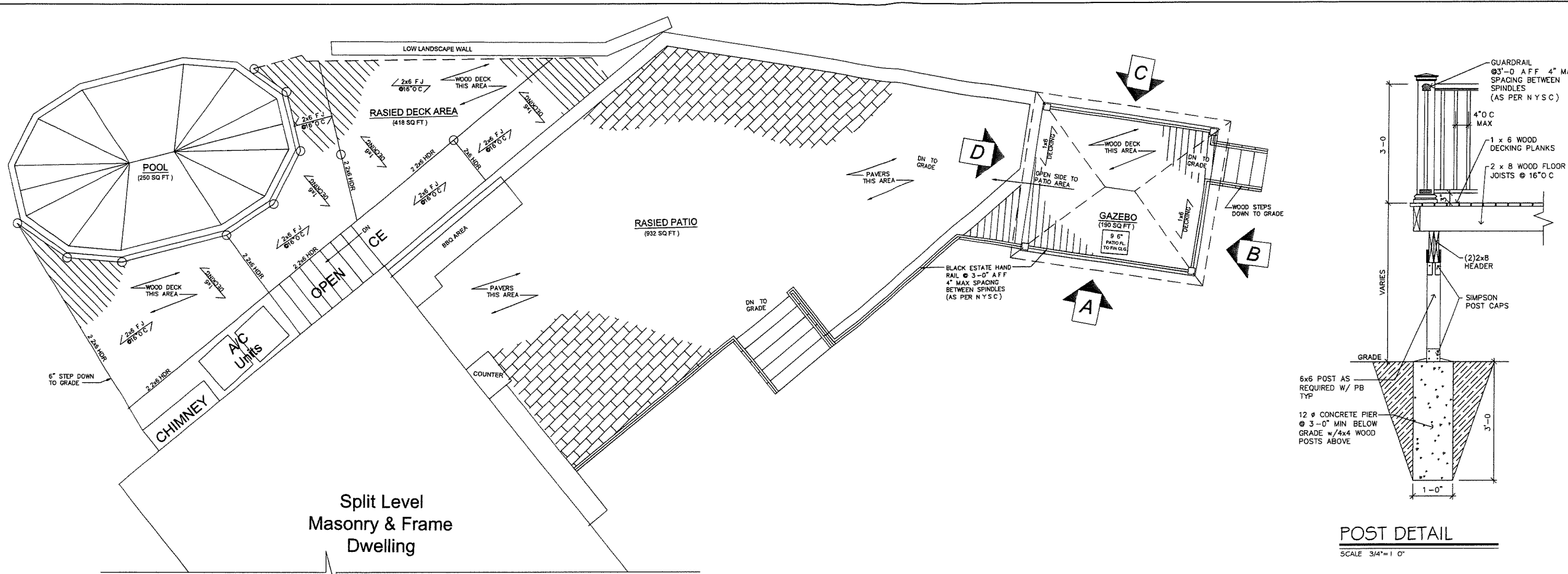
NEW YORK EDUCATION LAW
 IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER TO ALTER ANY ITEM ON THIS DRAWING AND/OR RELATED SPECIFICATIONS. ALL ALTERATIONS MUST BE MADE IN COMPLIANCE WITH THE NEW YORK STATE EDUCATION LAW. THE PROFESSIONAL ENGINEER WHOSE SEAL APPEARS HEREON ASSUMES NO RESPONSIBILITY FOR ANY SUCH ALTERATION OR RELEASE WITHOUT HIS WRITTEN CONSENT.

FS FRANK SZALAJDA, P.E.
 158-A SEA CLIFF AVENUE
 GLEN COVE, NY 11542
 TEL/FAX 516 671 1089

TITLE: **MESSINA RESIDENCE**
 5 VIOLA DRIVE
 GLEN COVE, NY 11542

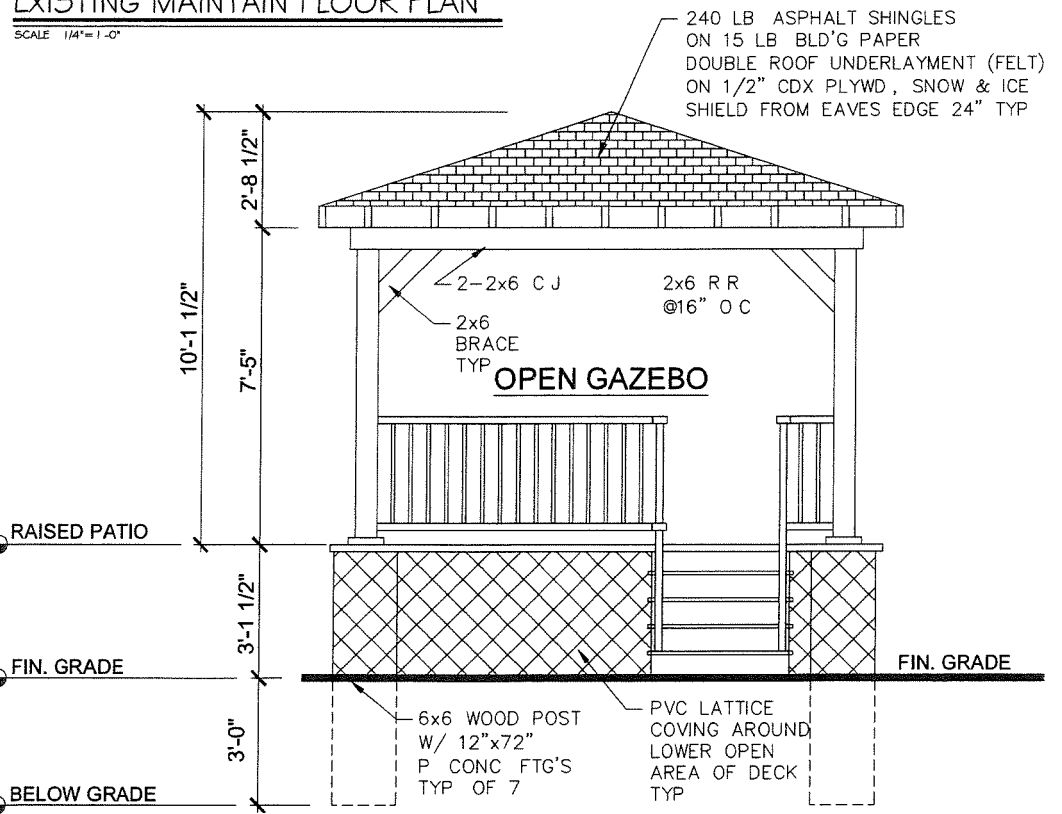
PROJECT: **SITE PLAN & NOTES**

SCALE AS SHOWN	DRAWING NUMBER
DESIGN BY F.S.G.G.	A-1
DRAWN BY F.S.G.G.	SHEET NO
CHECKED BY F.S.	1 of 4
DATE 3/1/21	

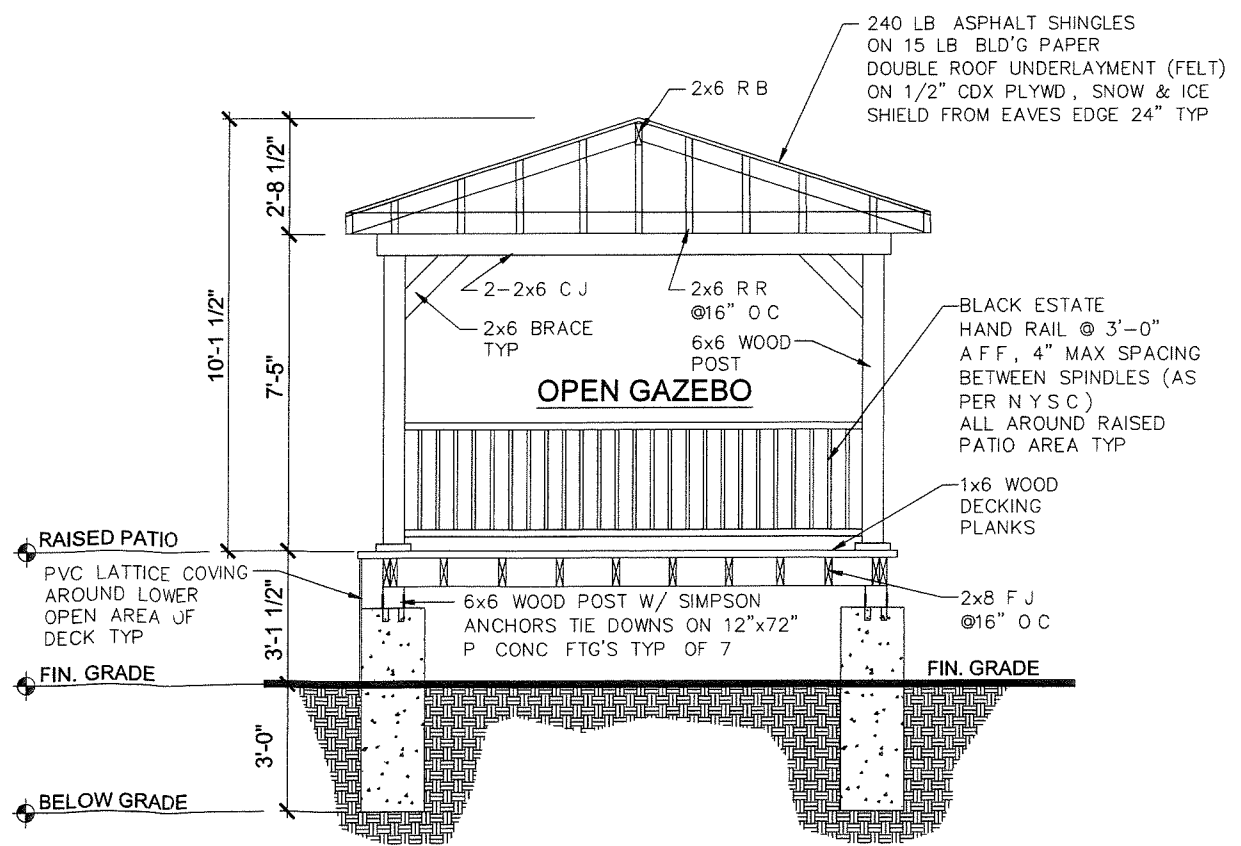


- GENERAL**
- CONTRACTOR TO VERIFY DIMENSION IN FIELD OF EXISTING STANDARDS TYPICAL
 - GLAZING STANDARDS ALL WINDOWS AND GLAZING EXTERIOR DOORS SHALL HAVE IMPACTED RESISTANT GLAZING TO PROTECT FROM WIND BORN DEBRIS (120 MPH WIND SPEED) PER ASTM E 1996 AND ASTM E 1886
 - PROVIDE FIRE BLOCKING IN ALL NEW WALL & ROOF PENETRATIONS TYPICAL
 - ALL INSULATION TO BE IN COMPLIANCE W/ R320 SEE SECTIONS FOR DETAILS
 - OPENING PROTECTIVES CONTRACTOR SHALL PROVIDE 1/2\"/>
- LEGEND**
- NEW 2x4 WOOD STUD WALLS @ 16\"/>

EXISTING MAINTAIN FLOOR PLAN
SCALE 1/4\"/>



B REAR GAZEBO ELEVATION
SCALE 1/2\"/>



SECTION A-A
SCALE 1/2\"/>

NOTE:
NO WORK TO COMMENCE UNTIL A BUILDING PERMIT IS ISSUED

REVISIONS		
DATE	DESCRIPTION	MARK

GG DESIGN
G GIOVANNIELLO
DESIGN LLC

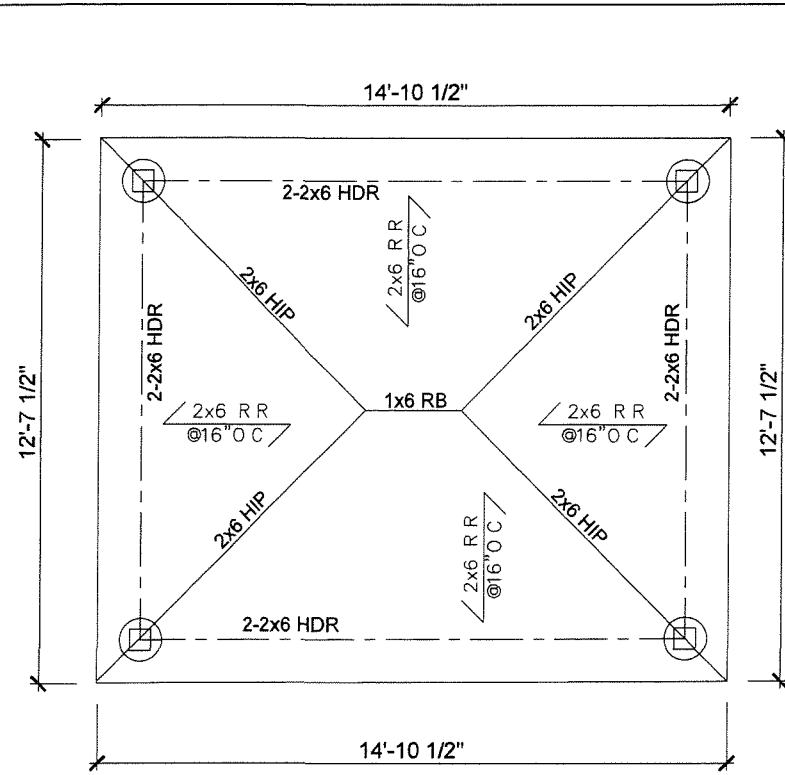
NEW YORK EDUCATION LAW
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FS FRANK SZALAJDA, P E
158-A SEA CLIFF AVENUE
GLEN COVE, NY 11542
TEL/FAX 516 671 1089

TITLE MESSINA RESIDENCE
5 VIOLA DRIVE
GLEN COVE, N Y 11542

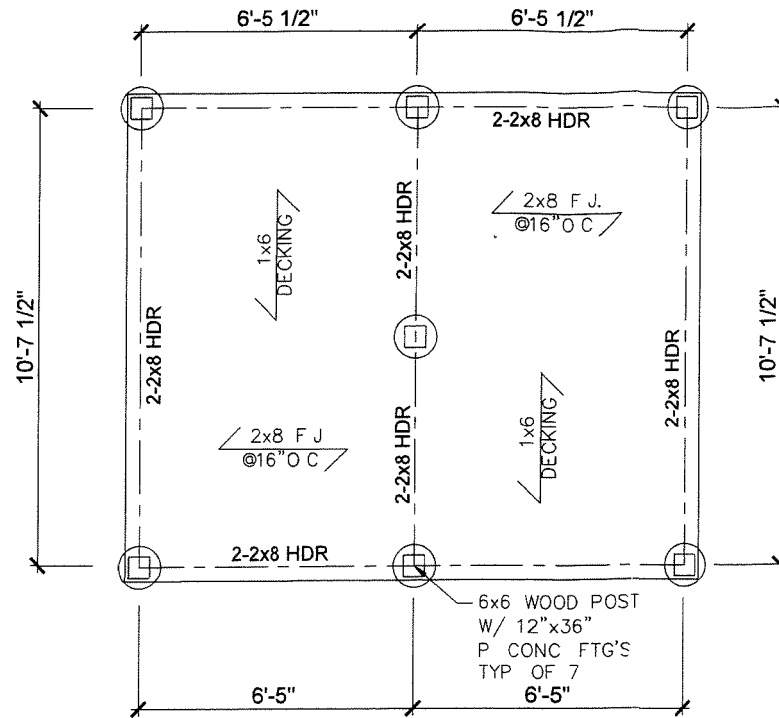
PROJECT MAINTAIN EXISTING
GAZEBO, DECK, POOL
(PLAN & ELEVATION)

SCALE AS SHOWN	DRAWING NUMBER
DESIGN BY F S G G	A-2
DRAWN BY F S G G	SHEET NO
CHECKED BY F S	2 of 4
DATE 3/1/21	



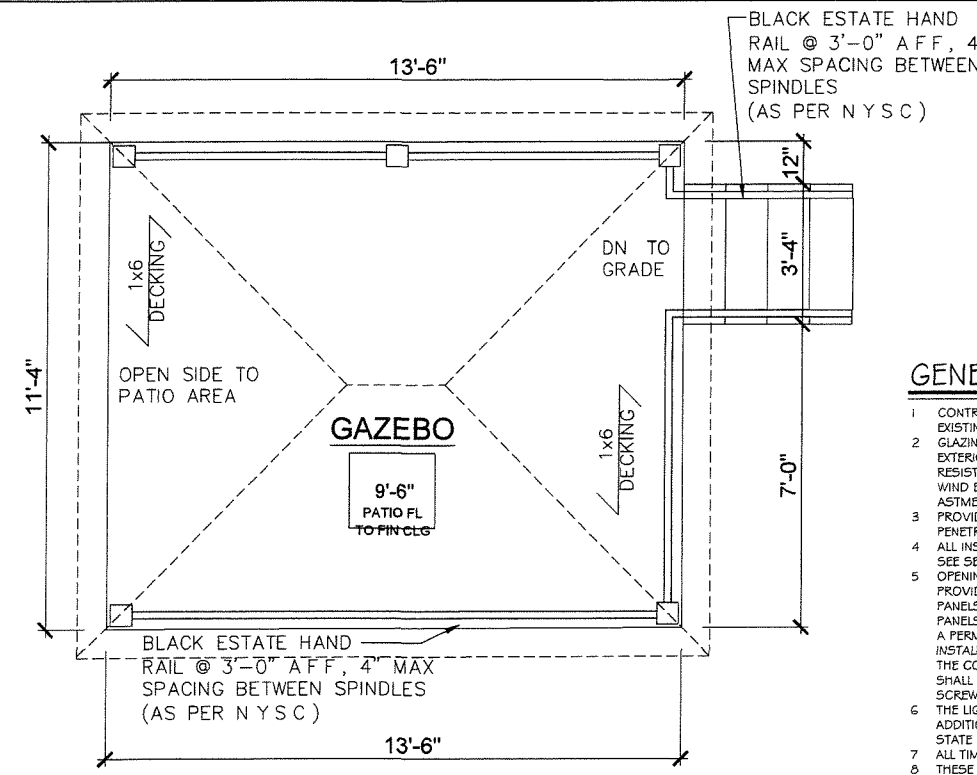
GAZEBO ROOF PLAN

SCALE 1/2"=1'-0"



GAZEBO FRAMING PLAN

SCALE 1/2"=1'-0"



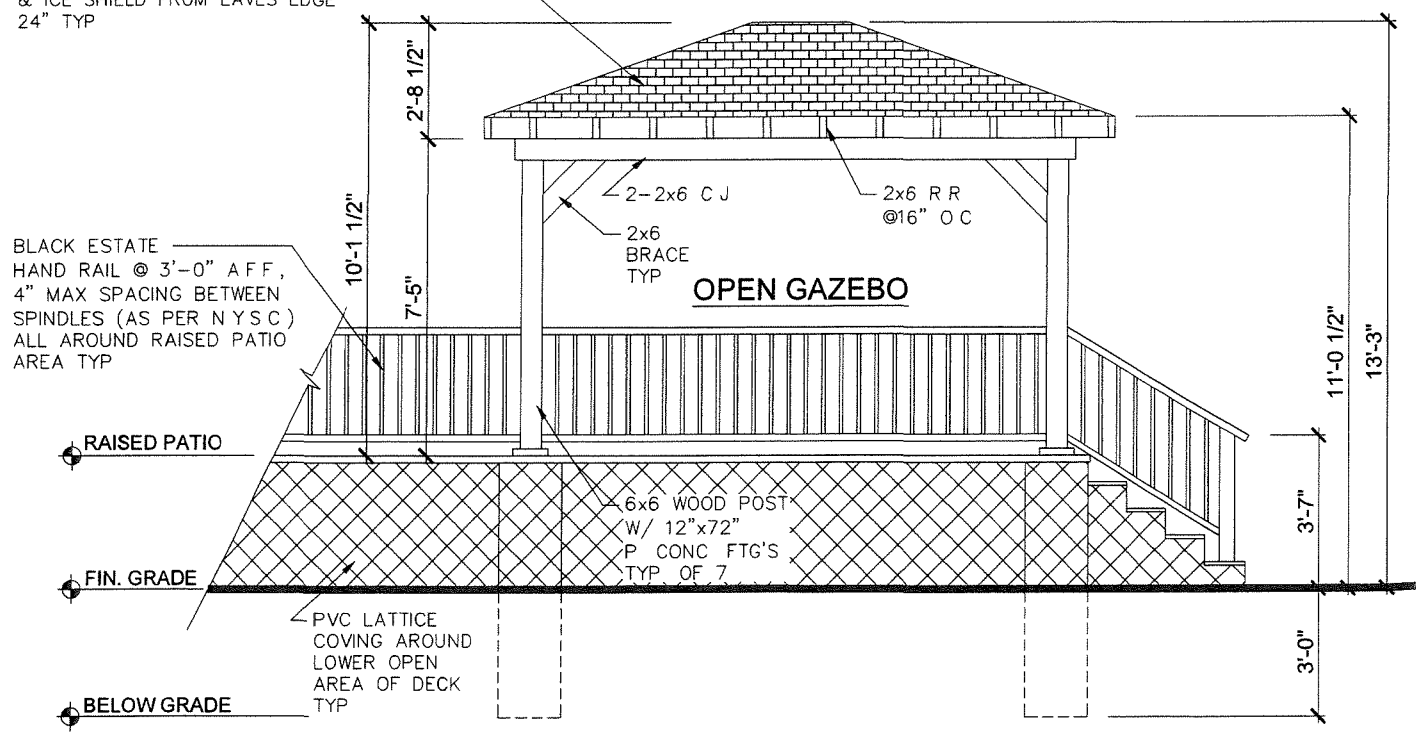
GAZEBO FLOOR PLAN

SCALE 1/2"=1'-0"

GENERAL

- CONTRACTOR TO VERIFY DIMENSION IN FIELD OF EXISTING CONDITIONS TYPICAL
- GLAZING STANDARDS ALL WINDOWS AND GLAZING EXTERIOR DOORS SHALL HAVE IMPACTED RESISTANT GLAZING TO PROTECT FROM WIND BORN DEBRIS (120 MPH WIND SPEED) PER ASTM E 1996 AND ASTM E 1886
- PROVIDE FIRE BLOCKING IN ALL NEW WALL & ROOF PENETRATIONS TYPICAL
- ALL INSULATION TO BE IN COMPLIANCE W/ R320 SEE SECTIONS FOR DETAILS
- OPENING PROTECTIVES CONTRACTOR SHALL PROVIDE 1/2" PLY WOOD OPENING PROTECTIVE PANELS FOR ALL NEW WINDOWS AND DOORS PANELS SHALL BE PRE DRILLED FOR INSTALLATION A PERMITTED IDENTIFICATION TAG SHALL BE INSTALLED ON THE WINDOW OR DOOR FRAME AND THE CORRESPONDING OPENING ALL PANELS SHALL BE SCURRED WITH 2 1/2" # 8 WOOD SCREWS @ 12" O C
- THE LIGHT AND VENTILATION IN THIS NEW ADDITION DOES COMPLY WITH THE NEW YORK STATE CODE
- ALL TIMBER TO BE DOUGLAS FIR LUMBER
- THESE PLANS ARE IN COMPLIANCE WITH THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE
- CONTRACTOR TO COMPLY WITH DETAILS ON CONNECTIONS SHEET
- CONSTRUCTION PLANS COMPLY WITH CURRENT CODES AND REGULATIONS
 - 2020 NATIONAL ELECTRICAL CODES (NEC)
 - 2020 NEW YORK STATE FIRE CODE
 - 2020 NEW YORK STATE CODE

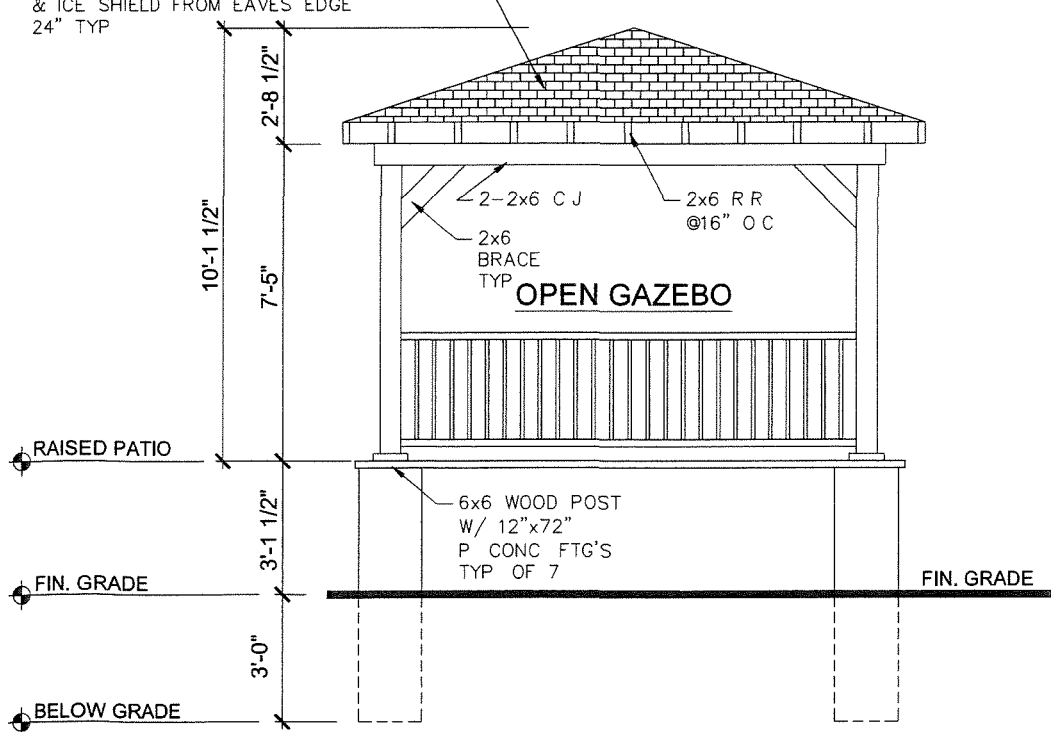
240 LB ASPHALT SHINGLES ON 15 LB BLD'G PAPER DOUBLE ROOF UNDERLAYMENT (FELT) ON 1/2" CDX PLYWD, SNOW & ICE SHIELD FROM EAVES EDGE 24" TYP



RIGHT SIDE GAZEBO ELEVATION

SCALE 1/2"=1'-0"

240 LB ASPHALT SHINGLES ON 15 LB BLD'G PAPER DOUBLE ROOF UNDERLAYMENT (FELT) ON 1/2" CDX PLYWD, SNOW & ICE SHIELD FROM EAVES EDGE 24" TYP



FRONT GAZEBO ELEVATION

SCALE 1/2"=1'-0"

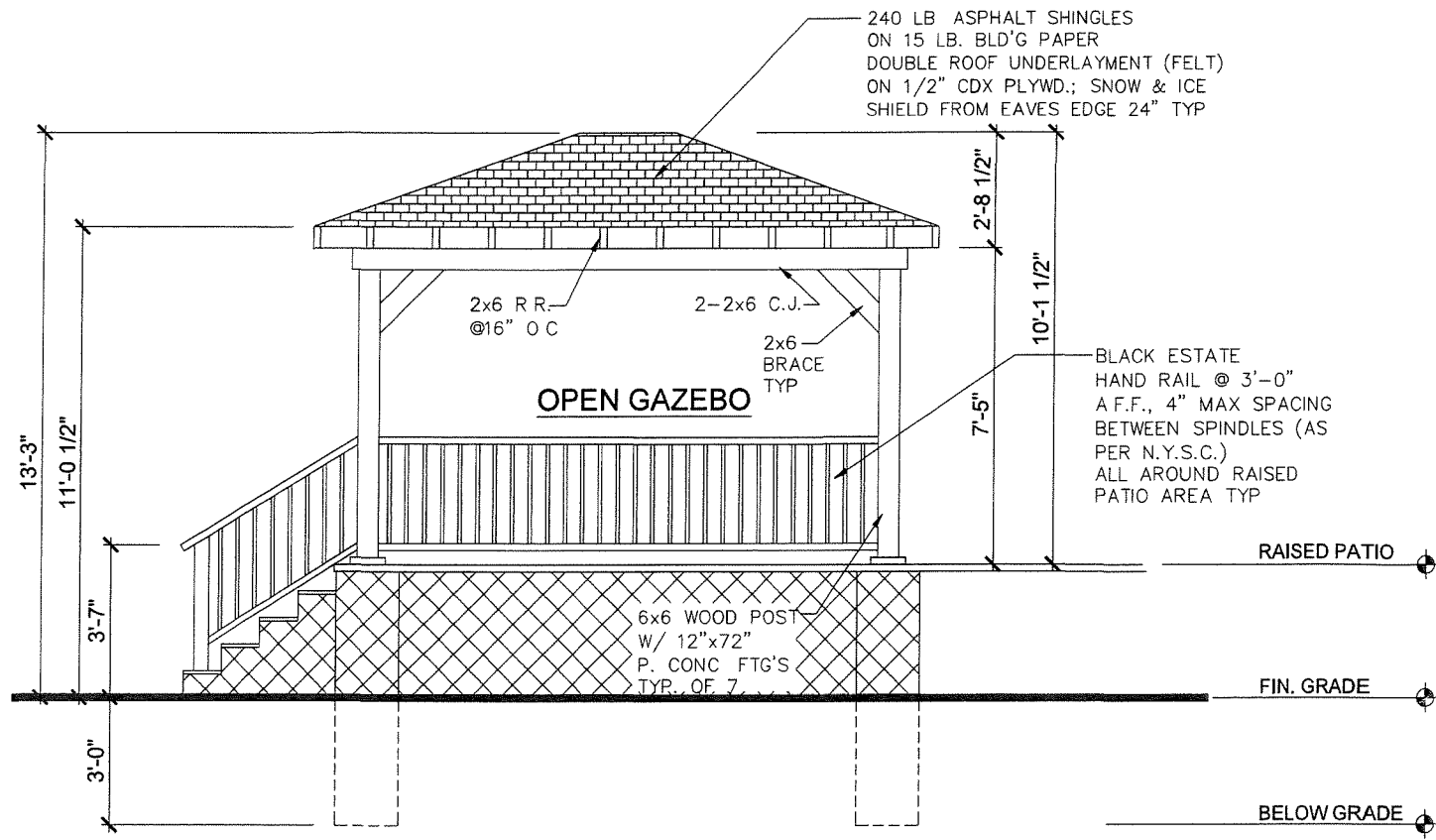
LEGEND

- NEW 2x4 WOOD STUD WALLS @ 16" O C w/ 1/2 GYP BRD ON INTERIOR WALLS & SIDES SOLID WOOD BLOCKING @ MIDPOINT OF STUDS W/ R-15 INSUL
- EXISTING STUD WALLS TO REMAIN
- EXISTING STUD WALLS TO BE REMOVED
- SD SMOKE DETECTOR ALARM
- CM CARBON MONOXIDE DETECTOR ALARM

NOTE:
NO WORK TO COMMENCE UNTIL A BUILDING PERMIT IS ISSUED

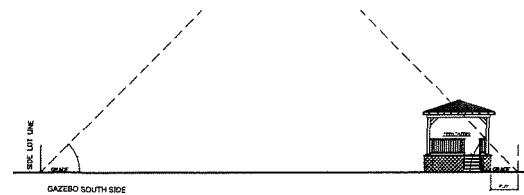
REVISIONS		
DATE	DESCRIPTION	MARK

<p>GG DESIGN G GIOVANNIELLO DESIGN LLC</p>	<p>NEW YORK EDUCATION LAW IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER TO ALTER ANY ITEM OF THESE DRAWINGS AND/OR RELATED SPECIFICATIONS. ALL ALTERATIONS MUST BE MADE IN COMPLIANCE WITH THE NEW YORK STATE EDUCATION LAW. THE PROFESSIONAL ENGINEER WHOSE SEAL APPEARS HEREBY ASSUMES NO RESPONSIBILITY FOR ANY SUCH ALTERATION OR REVISION WITHOUT HIS WRITTEN CONSENT.</p>	
	<p>FRANK SZALAJDA, P.E. 158-A SEA CLIFF AVENUE GLEN COVE, NY 11542 TEL/FAX 516 671 1089</p>	
<p>TITLE: MESSINA RESIDENCE 5 VIOLA DRIVE GLEN COVE, N.Y. 11542</p>		
<p>PROJECT: MAINTAIN EXISTING GAZEBO FLOOR PLANS & ELEVATIONS</p>		
SCALE AS SHOWN	DRAWING NUMBER	A-3
DESIGN BY F.S.G.G.		
DRAWN BY F.S.G.G.	SHEET NO.	
CHECKED BY F.S.		
DATE 3/1/21		3 of 4



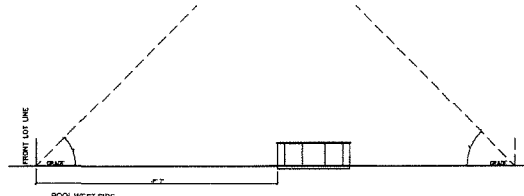
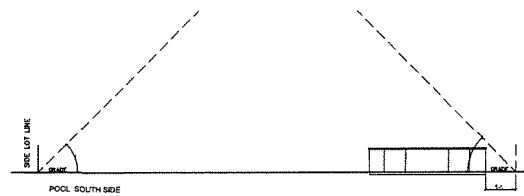
LEFT SIDE GAZEBO ELEVATION

SCALE 1/2"=1'-0"



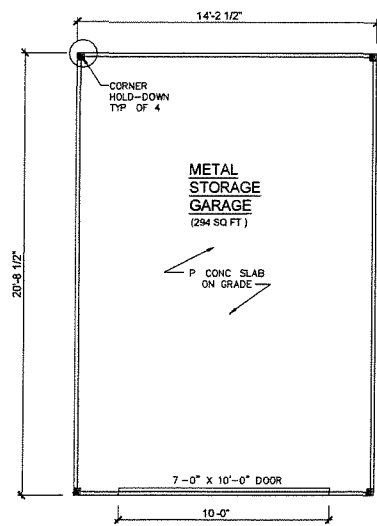
GAZEBO SKY EXPOSURE PLANE

SCALE 1/16"=1'-0"



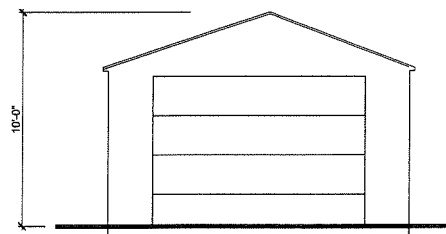
POOL SKY EXPOSURE PLANES

SCALE 1/16"=1'-0"



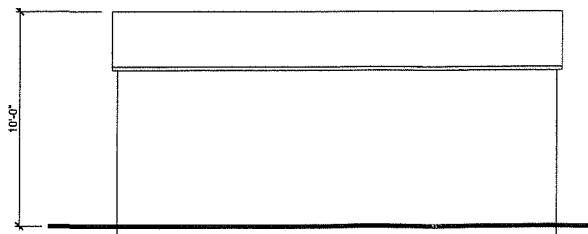
METAL GARAGE PLAN

SCALE 1/4"=1'-0"



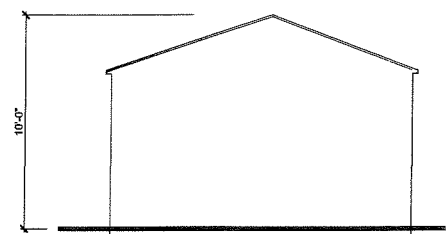
FRONT GARAGE ELEVATION

SCALE 1/4"=1'-0"



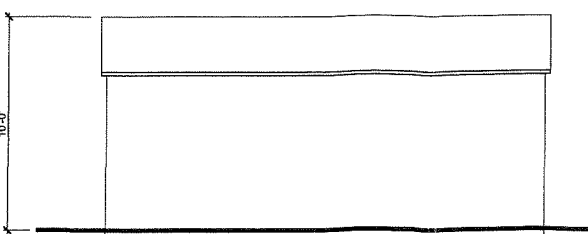
RIGHT GARAGE ELEVATION

SCALE 1/4"=1'-0"



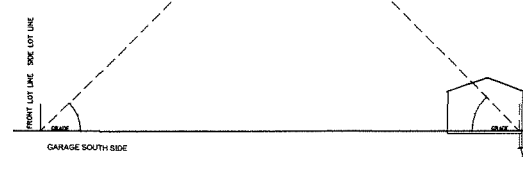
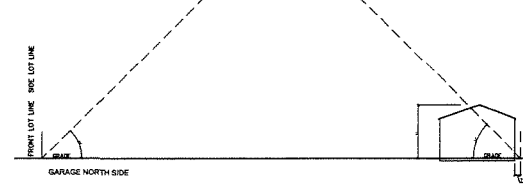
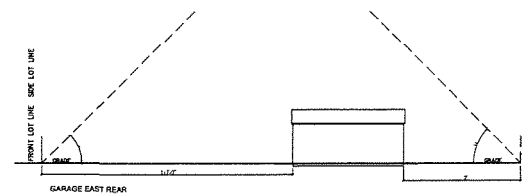
REAR GARAGE ELEVATION

SCALE 1/4"=1'-0"



LEFT GARAGE ELEVATION

SCALE 1/4"=1'-0"



GARAGE SKY EXPOSURE PLANES

SCALE 1/16"=1'-0"

GENERAL

- CONTRACTOR TO VERIFY DIMENSION IN FIELD OF EXISTING CONDITIONS TYPICAL.
- GLAZING STANDARDS- ALL WINDOWS AND GLAZING EXTERIOR DOORS SHALL HAVE IMPACTED RESISTANT GLAZING TO PROTECT FROM WIND-BORN DEBRIS (120 MPH WIND SPEED) PER ASTM E 1996 AND ASTM E 1886.
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- CONSTRUCTION PLANS COMPLY WITH CURRENT CODES AND REGULATIONS
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 - 2020 NEW YORK STATE FIRE CODE
 - 2020 NEW YORK STATE CODE

LEGEND

- NEW 2"x4" WOOD STUD WALLS @ 16" O.C. w/ 1/2" GYP BRD ON INTERIOR WALLS & SIDES. SOLID WOOD BLOCKING @ MIDPOINT OF STUDS, W/ R-15 INSUL.
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NOTE:
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REVISIONS		
DATE	DESCRIPTION	MARK

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G GIOVANNIELLO DESIGN LLC

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FS FRANK SZALAJDA, P.E.
158-A SEA CLIFF AVENUE
GLEN COVE, NY 11542
TEL/FAX 516 671 1089

TITLE **MESSINA RESIDENCE**
5 VIOLA DRIVE
GLEN COVE, N.Y. 11542

PROJECT **MAINTAIN EXISTING GAZEBO FLOOR PLANS & ELEVATIONS**

SCALE AS SHOWN	DRAWING NUMBER A-4
DESIGN BY F.S.G.G.	SHEET NO
DRAWN BY F.S.G.G.	4 of 4
CHECKED BY F.S.	
DATE 3/1/21	