

David Jimenez, RA
Director of Building Department



Phone: (516) 320-7843
Fax: (516) 759-6711
www.glencoveny.gov

CITY OF GLEN COVE

City Hall
9 Glen Street
Glen Cove, New York 11542

BUILDING DEPARTMENT

Date: May 19, 2021
To: The Chairman and Members of the Board of Appeals
Application: One Story Addition & Front Porch & Wood Deck
Address: 28 REYNOLDS ROAD, Glen Cove, NY 11542
Type of USE: 1 FAMILY DWELLING

SECTION	BLOCK	LOT	ZONE
031	81	5	R-2

DENIED for the following reasons:

<i>Variance 1</i>

Pursuant to the Municipal Code of the City of Glen Cove, § 280-56 R-2 Half-Acre Residence District.

B. Lot area and building requirements for principal uses. Lot area and building requirements for principal uses shall be as follows:

- (6) Minimum side yard: 20 feet each.

APPLICANT IS PROPOSING 9.8'

Variance 2

Pursuant to the Municipal Code of the City of Glen Cove, § 280-56 R-2 Half-Acre Residence District.

B. Lot area and building requirements for principal uses. Lot area and building requirements for principal uses shall be as follows:

(10) Maximum coverage: 15%

APPLICANT IS PROPOSING 24.73%

THIS IS FOR A ZONING BOARD APPLICATION ONLY. DOES NOT CONSTITUTE APPROVAL OF DRAWINGS SUBMITTED FOR CONSTRUCTION.

Please contact the Board of Appeals secretary Rosa Rizzo at 676-4448 for variance applications and requirements.

(2) Variance(s) required	\$400.00
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Thank you,

David Jimenez

Director – The City of Glen Cove Building Department



CITY OF GLEN COVE
APPLICATION TO THE ZONING BOARD OF APPEALS
FOR AN AREA VARIANCE

1. Applicant hereby appeals to the City of Glen Cove Zoning Board of Appeals from the decision of the Building Department Director in denying a building permit for:
not meeting side set back and lot coverage code requirements.

2. Applicant's Name, Address and phone number are:
Dana T. Davidson (516)-650-5464 and Yosef Ben-David (212)-944-2500,
28 Reynolds Rd. Glen Cove, NY 11542

3. If the Applicant is NOT the owner of record, the Applicant is (circle one):

- a. contract vendee (attached copy of contract)
OR
- b. the tenant (attach copy of lease)
OR
- c. prospective tenant (attach copy of conditional lease or binding letter of intent)

4. The address of the property which is the subject of this Application is:
28 Reynolds Rd. Glen Cove, N.Y. 11542

Nassau County Land & Tax Map designation is:

Section: 031 Block: 81 Lot: 5

City of Glen Cove Zoning District is: R-2

5. Applicant became the owner of the subject property on October 08, 2020
by deed dated 10/08/2020 recorded in Liber BK-D V1-13986 Page 86

6. State whether the subject premises is located within 500 feet of the boundary line of any Village or Town, of any County or State Park, of any County or State parkway, thruway, expressway, road or highway, of any County stream or drainage channel, of any County or State owned land on which a public building or institution is situated, or of any farm operation located in an agricultural district.

Yes No

7. The Petitioner requests the following relief from the Board of Appeals:

1. Side yard - Proposing 9.8'

2. Lot Coverage - Proposing 24.73%

8. The Applicant seeks variance(s) from [or challenges interpretation of] the following section(s) of the Zoning Chapter 280 :

1. 280-56 R-2 Half-Acre

9. a. State how the granting of the relief requested will benefit the applicant and why it is necessary.

Current foot print outdated, too small; in need of updating of all systems

b. State why the requested variance(s) will not cause an undesirable change in the character of the neighborhood or a detriment to nearby properties if the application is granted.

Variance will not cause undesirable change in character of neighborhood or others property. Design is in keeping with charm of neighborhood. All areas of property will be beautiful and reflect the charm of the neighborhood.

c. State why the benefit sought cannot be achieved by some method feasible for the Applicant to pursue other than an area variance.

We do not want to build up as this is not in keeping with the other ranch houses on the block. As we get older, we would prefer not to climb stairs.

d. Describe the difference between the proposed dimensions and the Code requirement for each variance.

1. Minimum side yard is 20 Feet, we are proposing 9'.8"

2. Maximum Lot coverage 15%, We are requesting 24.73%

e. Explain why the requested relief will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.

The extension will be in the back of the house and will not be visible from the street.

The improvements to the front will be in keeping with the character of the neighborhood.

We are not taking any actions that will impact the environmental condition of the neighborhood.

10. Has the subject premises been the subject of prior applications for variances, special use permits and/or subdivisions?

Yes No

If 'Yes', please describe and provide written decisions, if any, on those prior applications.

11. State the names and phone numbers of any of the following licensed professionals who may appear at the public hearing representing the Applicant:

a. Attorney: _____

b. Architect: Oyster Bay Drafting & Architechure P.C 516-922-5976

c. Engineer: (P.E.): _____

d. Certified Planner: _____

12. If the Applicant is a corporation, the Petitioner has adopted a resolution (copy attached) authorizing the following corporate officer to act on its behalf:

N/A	_____	_____
Name		Title

13. The approximate dimensions in linear feet of the subject premises (lot) are as follows:

a. Width: 30'

b. Depth: 50'

c. Size of lot (in acres): .33

14. Are there current violations and/or criminal charges which relate to this Application pending against the subject premises and/or the Applicant?

Yes No

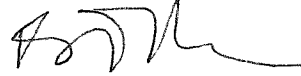
If 'Yes', please describe.

15. Does the Applicant seek to legalize a use of land and/or structures and buildings which already exist?

Yes No

16. The Applicant represents that Applicant has received a copy of the Board's Rules of Procedure and acknowledges that Applicant has complied with said Rules in all respects as the same apply to this Application.

I HAVE READ THE FOREGOING APPLICATION AND UNDERSTAND THAT ANY FALSE STATEMENT MADE THEREIN IS PUNISHABLE AS A CLASS 'A' MISDEMEANOR PURSUANT TO SECTION 210.45 OF THE NEW YORK STATE PENAL LAW.



Applicant's Signature

Date: 06/08 / 2021

Every applicant before the Board of Zoning Appeals, including an owner, lessee, agent and contract vendee must execute this Disclosure Affidavit.

This preamble to this Disclosure Affidavit is intended to briefly explain the purpose of the affidavit. In general, New York State law requiring such an affidavit, was intended to disclose conflicts of interest when applications were made to the various Boards throughout the state. As applicable herein, the New York State Legislature, pursuant to General Municipal Law Section 809, has determined that every applicant making an application to the Board of Zoning Appeals of the City of Glen Cove should disclose whether any officer or employee of the state, the City of Glen Cove or the County of Nassau, or any Political Party officer has an interest in such application.

Section 809(1) of the General Municipal Law states:

1. Every application, petition or request submitted for a variance, amendment, change of zoning, approval of a plat, exception from a plat or official map, license or permit, pursuant to the provision of any ordinance, local law, rule or regulation constituting the zoning and planning regulations of a municipality shall state the name, residence and nature and extent of the interest of any state officer or any officer or employee of such municipality or of a municipality of which such municipality is a part, in the person, partnership or association making such application, petition or request (hereinafter called the applicant) to the extent known to such applicant.

Party officer shall mean any person holding any party position or party office, whether by election, appointment or otherwise, in any party as defined by subd.5 of section 1-104 of the election law.

For the purpose of the Disclosure, as identified in General Municipal Law Section 809(2), an officer, or employee or party officer shall be deemed to have an interest in the applicant when the officer-employee-party officer his or her spouse or their brothers, sisters, parents, children, grandchildren or the spouse of any of them:

- (a) is the applicant, or
- (b) is an officer, director, partner or employee of the applicant, or
- (c) legally or beneficially owns or controls stock of a corporate applicant or is a member of a partnership or association applicant or
- (d) is a party to an agreement with such an applicant, express or implied, whereby he may receive any payment or other benefit, whether or not for services rendered, dependent or contingent upon the favorable approval of such application, petition or request.

DISCLOSURE AFFIDAVIT

In the Matter of the Application of

DANA T. DAVIDSON

Name of Applicant(s) (Exactly as name appears on deed, lease and/or contract)

for a variance, modification, revocation of declaration of restrictions, or (state other relief requested) which requires the favorable exercise of discretion by the Board mentioned below* Affidavit of Certification by applicant pursuant to the provisions of Sec 809 of the General Municipal Law

BEFORE Board of Appeals of the City of Glen Cove Refer to the preamble before completing this form.

Every applicant before the Board of Zoning Appeals, including an owner, lessee, agent and contract vendee must execute this Disclosure Affidavit.

STATE OF NEW YORK }
}ss.:
COUNTY OF NASSAU }

DANA T. DAVIDSON, being duly sworn, Name (Exactly as name appears on deed, lease and/or contract), deposes and say(s)

* Strike out inapplicable phrases, letters or words and fill in where necessary

Your deponent ~~is~~ ~~(are)~~ ~~(an agent of)~~ ~~(an officer of)~~ the applicant ~~(s)~~ in the above entitled proceeding (and (who) is ~~(are)~~ the owner ~~(s)~~ in fee, ~~(contract vendee)~~ ~~(lessee)~~ or ~~(describe other category)~~ of the premises referred to in the application and is ~~(are)~~ interested in the outcome thereof (except as otherwise stated) and there are no other persons interested either in the fee ownership or as holder of an encumbrance upon the property

Your deponent's home address is as follows 28 REYNOLDS ROAD, GLEN COVE, NY 11542 (street) (town/city) (state) (zip)

TO BE COMPLETED BY BUSINESS - IF NOT APPLICABLE, PLEASE LEAVE BLANK

Your deponent is an officer, _____ (office title) of _____ (name of corporation/company)

a corporation duly organized and existing under and by virtue of the laws of the State of New York, with its principal place of business at _____ (street) (town/city) (state) (zip)

All officers, directors and shareholders and their addresses are as follows

Table with 2 columns: OFFICERS, ADDRESS. Rows for listing officers and directors.

REF. NO.

N-31-81-5

TITLE NO.

MAP OF PROPERTY AT GLEN COVE

NASSAU COUNTY, NEW YORK

FIELD SURVEY COMPLETED: JUNE 29, 2021

Apollonia O. Agui
LICENSED LAND SURVEYOR LICENSE NO. 050339-1

CERTIFIED TO.

SURVEY FOR
"BUILDING DEPARTMENT USE"
ONLY

TAX SECTION: 31
TAX LOT(S): 5

TAX BLOCK: 81

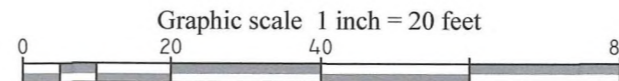
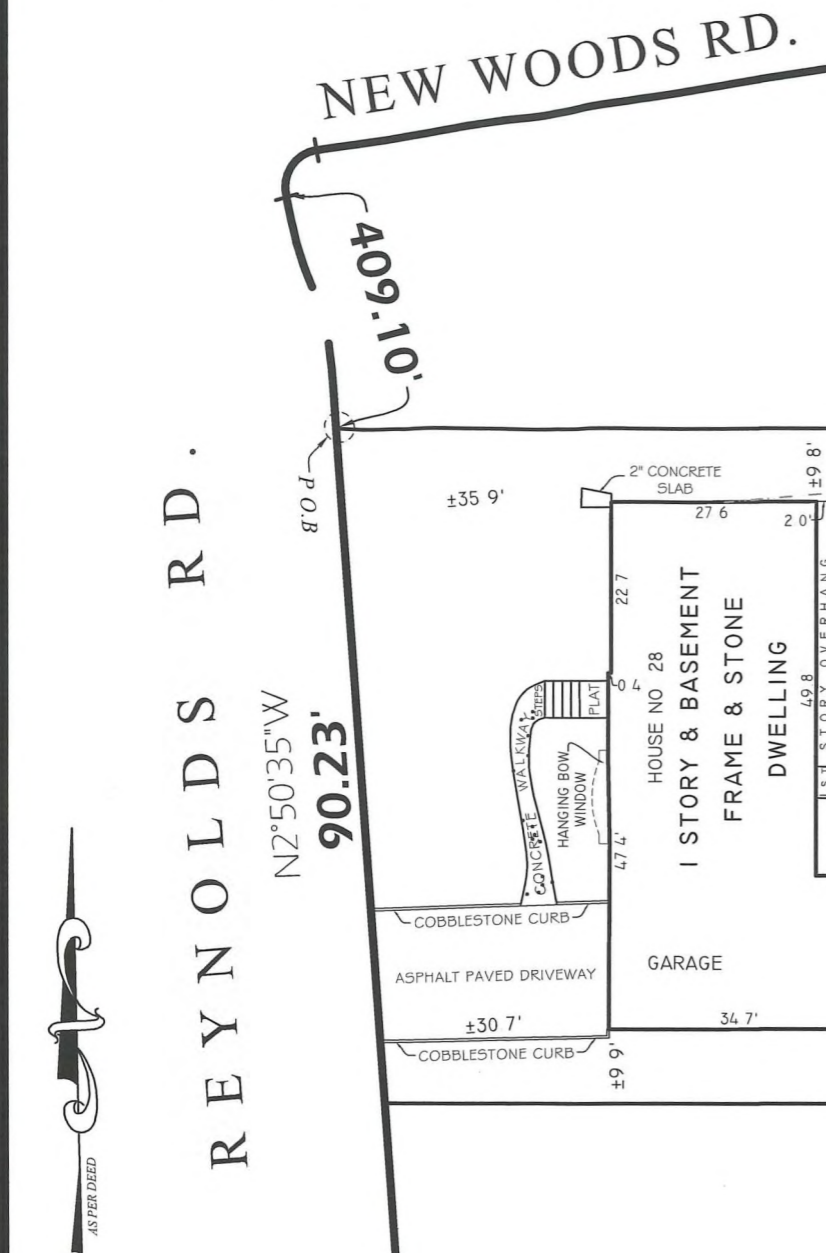
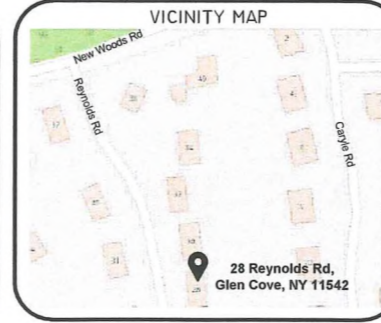
A. AGUJO SURVEYING, INC.



PROFESSIONAL LAND SURVEYORS
782 SALISBURY PARK DRIVE
WESTBURY, NEW YORK 11590
TEL (516)333-6730
FAX (516)333-6740
EMAIL AGUJOSURVEYING@GMAIL.COM

SUCCESSOR TO
NORMAN T WOLF
THOMPSON E WOLF

SURVEY MAP COMPLETED: JULY 1, 2021



SUB-SURFACE STRUCTURES, IMPROVEMENTS OR ENCROACHMENTS THAT ARE NOT VISIBLE OR READILY APPARENT ARE NOT SHOWN. IF SUCH UNDERGROUND STRUCTURES, IMPROVEMENTS OR ENCROACHMENTS ARE SHOWN, THEY ARE NOT COVERED BY THIS CERTIFICATE. PROPERTY CORNER MONUMENTS WERE NOT PLACED AS A PART OF THIS SURVEY. GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. THE ALTERATION OF BOUNDARY SURVEY MAPS BY ANYONE OTHER THAN THE ORIGINAL PREPARER IS MISLEADING, CONFUSING, AND NOT IN THE GENERAL WELFARE AND BENEFIT OF THE PUBLIC.

LICENSED LAND SURVEYORS SHALL NOT ALTER MAPS, SURVEY PLANS, OR SURVEY PLATS PREPARED BY OTHERS. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. ONLY TITLE SURVEYS BEARING THE MAKERS EMBOSSED SEAL SHOULD BE RELIED UPON SINCE OTHER THAN EMBOSSED-SEAL COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS AND CHANGES. A COPY OF THIS DOCUMENT WITHOUT A PROPER APPLICATION OF THE SURVEYOR'S EMBOSSED SEAL SHOULD BE ASSUMED TO BE AN UNAUTHORIZED COPY. REPRODUCTION OR COPYING OF THIS DOCUMENT MAY BE A VIOLATION OF COPYRIGHT LAW UNLESS PERMISSION OF THE AUTHOR AND/OR COPYRIGHT HOLDER IS OBTAINED. VICINITY MAP AND STREET VIEW ARE NOT GUARANTEED AS TO ITS ACCURACY AND COMPLETENESS. (C) 2010-2021 A. AGUJO SURVEYING, INC. ALL RIGHTS RESERVED.





CITY OF GLEN COVE
ZONING BOARD OF APPEALS
AFFIDAVIT OF POSTING

In the matter of the Board of Appeals petition of:

Dana T. Davidson and Yosef Ben-David

Address: 28 Reynolds Rd.

Section: 031 Block: 81 Lot: 5

State of New York]

]ss:

County of Nassau]

Dana T. Davidson being duly sworn, deposes and says:

1. **THAT** Dana T. Davidson is the applicant, [if corporation, give title]
Yosef Ben-David, or an authorized agent or representative of the Applicant;
2. **THAT** this affidavit is made in compliance with the provisions of the Code of the City of Glen Cove, which requires an Affidavit of Posting;
3. **THAT** in compliance with the provisions of the Code of the City of Glen Cove, the deponent has posted or has caused to be posted upon the property which is the subject of the application a notice of said application;
4. **THAT** said notice was posted on the subject property on the 1st day of July 2021;
5. **THAT** said notice complies in all respects with the requirements as to size, form, content, material, location and time posting, elevation and length of time displayed.

Sworn to before me this

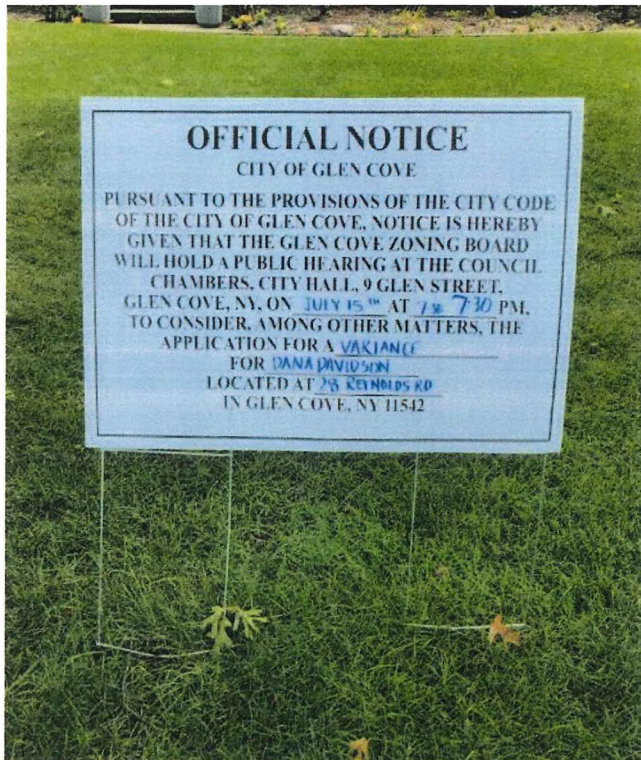
9th day of July 2021

[Signature]
Signature

[Signature]
Notary Public

MICHAEL COCO
Notary Public, State of New York
Reg. No. 02CO4507009
Qualified in Nassau County
Commission Expires September 30, 2021

Please return this form at least two (2) days prior to the Public Hearing with a photograph of the sign as posted



OFFICIAL NOTICE

CITY OF GLEN COVE

PURSUANT TO THE PROVISIONS OF THE CITY CODE OF THE CITY OF GLEN COVE, NOTICE IS HEREBY GIVEN THAT THE GLEN COVE ZONING BOARD WILL HOLD A PUBLIC HEARING AT THE COUNCIL CHAMBERS, CITY HALL, 9 GLEN STREET, GLEN COVE, NY, ON JULY 15TH AT 7:30 PM, TO CONSIDER, AMONG OTHER MATTERS, THE APPLICATION FOR A VARIANCE FOR DANA DAVIDSON LOCATED AT 25 REYNOLDS RD IN GLEN COVE, NY 11542



CITY OF GLEN COVE
ZONING BOARD OF APPEALS
AFFIDAVIT OF MAILING NOTICE

On the 1st day of July, 2021, the undersigned sent by certified mail return receipt requested **OR** registered mail to each owner of property within 100 feet of the subject premises a true copy of the Notice required by the Rules of the Glen Cove Zoning Board of Appeals to the following named persons a copy of which Notice is hereto annexed. The Mailing receipts (white) are hereby attached and made part of this affidavit.

See attachment

(For additional names, please attach a separate sheet)

On the 1 day of July, 2021, the undersigned sent by regular mail to each owner of property beyond 100 feet and within 300 feet of the subject premises a true copy of the Notice required by the Rules of the Glen Cove Zoning Board Appeals to the following named persons:

See attachment

(For additional names, please attach a separate sheet)

I HAVE READ THE FOREGOING APPLICATION AND UNDERSTAND THAT ANY FALSE STATEMENT MADE HEREIN IS PUNISHABLE AS A CLASS 'A' MISDEMEANOR PURSUANT TO SECTION 210.45 OF THE NEW YORK STATE PENAL LAW.

Applicant's Signature

Dana T. Davidson

Print Name

Date 06/25/2021

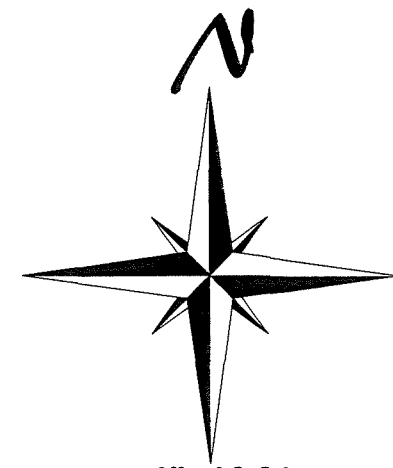
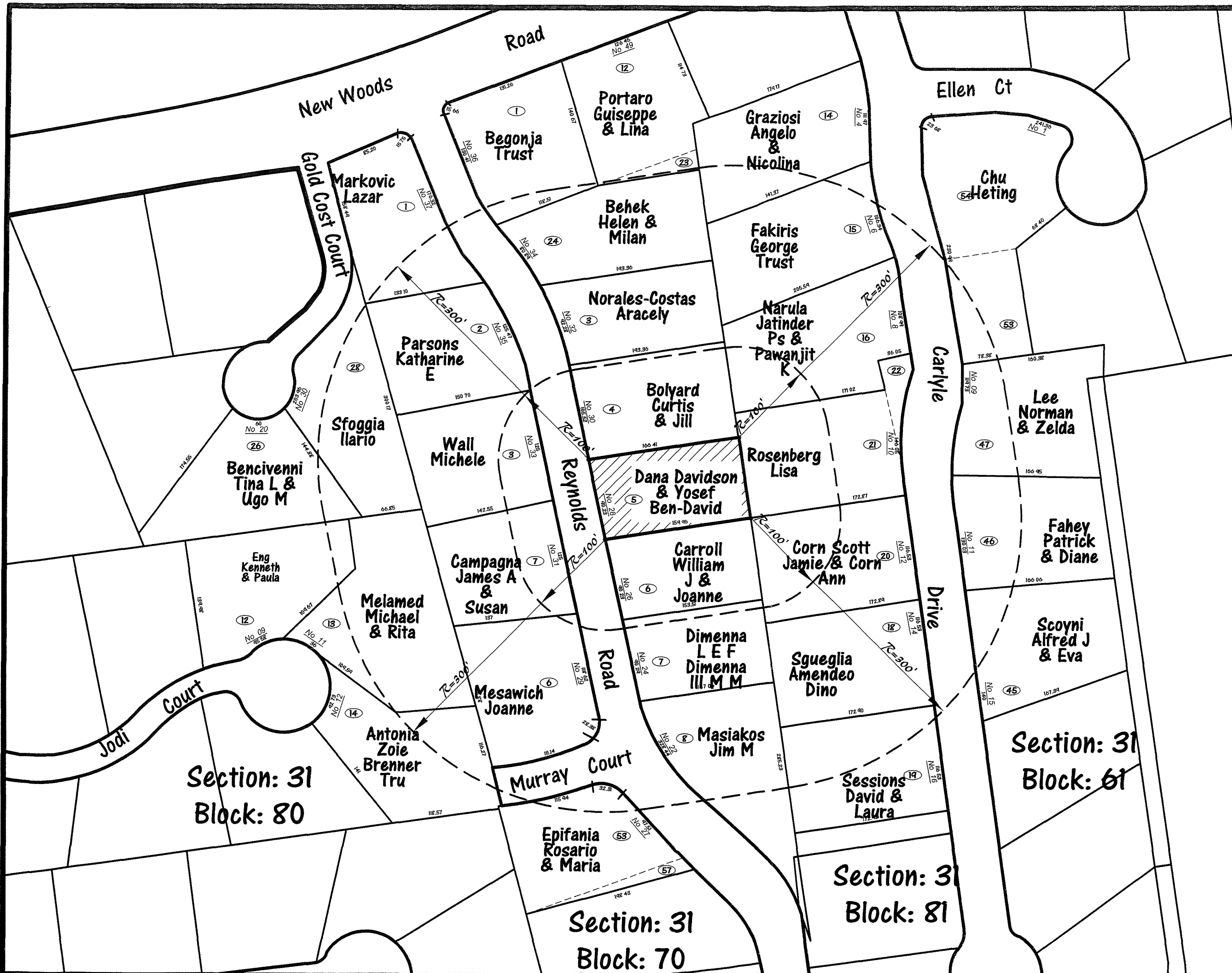
List of Names
Within 300 feet of
28 Reynolds Road, Glen Cove, NY 11542

Properties Within 100 feet - Certified Return Receipt

Sec	Block	Lot	Owner Name	Address	Town
31	80	2	Parsons Katharine E	35 Reynolds Rd	Glen Cove, NY 11542
31	80	3	Wall Michele	33 Reynolds Rd	Glen Cove, NY 11542
31	80	7	Campagna James A & Susan	31 Reynolds Rd	Glen Cove, NY 11542
31	80	6	Mesawich Joanne	29 Reynolds Rd	Glen Cove, NY 11542
31	81	4	Bolyard Curtis & Jill	30 Reynolds Rd	Glen Cove, NY 11542
31	81	6	Carroll William J & Joanne	26 Reynolds Rd	Glen Cove, NY 11542
31	81	7	Dimenna L E F Dimenna III M M	24 Reynolds Rd	Glen Cove, NY 11542
31	81	16	Narula Jatinder Ps & Pawanjit K	8 Carlyle Dr	Glen Cove, NY 11542
31	81	21-22	Rosenberg Lisa	10 Carlyle Dr	Glen Cove, NY 11542
31	81	20	Corn Scott Jamie & Corn Ann	12 Carlyle Dr	Glen Cove, NY 11542

Properties Within 300 feet - Regular Mail

Sec	Block	Lot	Owner Name	Address	Town
31	80	26	Bencivenni Tina L & Ugo M	20 Gold Coast Ct	Glen Cove, NY 11542
31	80	28	Sfoggia Ilario	30 Gold Coast Ct	Glen Cove, NY 11542
31	80	1	Markovic Lazar	37 Reynolds Rd	Glen Cove, NY 11542
31	80	12	Eng Kenneth & Paula	9 Jodi Ct	Glen Cove, NY 11542
31	80	13	Melamed Michael & Rita	11 Jodi Ct	Glen Cove, NY 11542
31	80	14	Antonia Zoie Brenner Tru	12 Jodi Ct	Glen Cove, NY 11542
31	70	53,57	Epifania Rosario & Maria	27 Reynolds Rd	Glen Cove, NY 11542
31	81	1	Begonja Trust	36 Reynolds Rd	Glen Cove, NY 11542
31	81	12, 23	Portaro Guisepppe & Lina	49 New Woods Rd	Glen Cove, NY 11542
31	81	24	Behek Helen & Milan	34 Reynolds Rd	Glen Cove, NY 11542
31	81	3	Norales-Costas Aracely	32 Reynolds Rd	Glen Cove, NY 11542
31	81	8	Masiakos Jim M	22 Reynolds Rd	Glen Cove, NY 11542
31	81	14	Graziosi Angelo & Nicolina	4 Carlyle Dr	Glen Cove, NY 11542
31	81	15	Fakiris George Trust	6 Carlyle Dr	Glen Cove, NY 11542
31	81	18	Sgueglia Amendeo Dino	14 Carlyle Dr	Glen Cove, NY 11542
31	81	19	Sessions David & Laura	16 Carlyle Dr	Glen Cove, NY 11542
31	61	45	Scoyni Alfred J & Eva	15 Carlyle Dr	Glen Cove, NY 11542
31	61	46	Fahey Patrick & Diane	11 Carlyle Dr	Glen Cove, NY 11542
31	61	47	Lee Norman & Zelda	9 Carlyle Dr	Glen Cove, NY 11542
31	61	53-54	Chu Heting	1 Ellen Ct	Glen Cove, NY 11542



1"=100'

LEGEND

- PARCEL LINE
- - - - LOT LINE
- ZONING DISTRICT LINE
- (27) LOT NUMBER
- 100 PARCEL LINE LENGTH
- No 60 ADDRESS NUMBER
NOTE: FACES STREET THAT IT IS ON

Radius Map

**28 Reynolds Road
Glen Cove, NY 11542**

Section: 31
Block: 81
Lot: 5

Prepared By:
Long Island Expeditors
121 Newbridge Road
Hicksville, NY 11801
Phone 516-698-0005

DATE: June 03, 2021

GENERAL CONDITIONS OF THE WORK

- 1- THESE NOTES SHALL APPLY TO THE GENERAL CONTRACTOR, EACH SUB CONTRACTOR AND THE OWNER'S OWN FORCES... 2- THE CONTRACTOR SHALL INSPECT THE SITE AND MAKE ALL APPROPRIATE INQUIRIES TO DETERMINE CONDITIONS AND FIELD CONSTRUCTION CRITERIA PRIOR TO SUBMISSION OF BIDS...

EXISTING SITE CONDITIONS

- 1- ALL EXISTING EQUIPMENT, UTILITIES, STRUCTURES AND OTHER ITEMS INTERFERING WITH THE INSTALLATION OF THE PROPOSED EQUIPMENT AND STRUCTURES SHALL BE REMOVED AND REPLACED AND SHALL BE SUBJECT TO APPROVAL OF THE OWNER... 2- THE CONTRACTOR SHALL DETERMINE AND/OR VERIFY THE ACTUAL LOCATION OF ANY AND ALL UTILITIES, PIPING AND RELATED ITEMS PRIOR TO THE COMMENCEMENT OF WORK...

CONTRACTOR'S RESPONSIBILITIES FOR COORDINATION AND WORKMANSHIP

- 1- THE CONTRACTOR SHALL COORDINATE SCHEDULING OF SUB-CONTRACTORS AND OTHER CONTRACTS AND SHALL PROVIDE EVERY POSSIBLE COOPERATIVE EFFORT TO COORDINATE COMPLETION OF ALL WORK... 2- THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE OWNER TO MINIMIZE INTERRUPTIONS TO NORMAL OWNER OPERATIONS...

CODE COMPLIANCE

- 1- ALL CONTRACTORS AND SUB-CONTRACTORS SHALL BUILD IN COMPLIANCE WITH ANY AND ALL APPLICABLE 2015 I.R.C. CODES AS WELL AS THE REQUIREMENTS OF LOCAL AGENCIES... 2- EACH CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE FIRE CODE OF NEW YORK STATE, NEW YORK STATE ENERGY CONSERVATION CODE, FEDERAL O.S.H.A., AND ALL OF THE LOCAL GOVERNMENT AGENCIES HAVING JURISDICTION...

PERMITS, INSPECTIONS AND APPROVALS

- 1- UNLESS OTHERWISE AGREED UPON BETWEEN THE ARCHITECT AND THE OWNER, THE OWNER SHALL PAY FOR AND THE CONTRACTOR SHALL OBTAIN A BUILDING PERMIT FROM THE VILLAGE, TOWNSHIP OR GOVERNING MUNICIPALITY PRIOR TO STARTING ANY WORK... 2- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED APPROVALS, PERMITS, CERTIFICATES OF OCCUPANCY, INSPECTION APPROVALS, ETC. FOR WORK PERFORMED BY AGENCIES HAVING JURISDICTION THEREOF...

PAYMENTS TO THE CONTRACTOR

- 5- BEFORE ANY PAYMENT WILL BE MADE BY THE OWNER, THE CONTRACTOR SHALL DELIVER TO THE OWNER ANY WAIVER OR RELEASES OF ANY LIENS ARISING OUT OF HIS CONTRACT FOR WORK COMPLETED AS OF THE DATE OF THE REQUEST FOR PAYMENT... 6- THE CONTRACTOR SHALL ALSO FURNISH EVIDENCE SATISFACTORY TO THE OWNER THAT ALL PAYROLLS, BILLS FOR LABOR, MATERIALS AND EQUIPMENT, AND OTHER INDEBTEDNESS CONNECTED WITH HIS WORK FOR WHICH THE OWNER OR HIS PROPERTY MIGHT IN ANY WAY BE RESPONSIBLE, HAVE BEEN PAID OR OTHERWISE SATISFIED

INSURANCE AND WARRANTIES

- 1- EACH CONTRACTOR AND SUB-CONTRACTOR SHALL SUBMIT PROOF OF INSURANCE WITH A COMPANY INSURED BY THE STATE OF NEW YORK HAVING COVERAGE FOR THE TYPES OF WORK SPECIFIED WITHIN THIS BID PACKAGE IN THE AMOUNTS AND PERIODS SATISFACTORY TO THE OWNER... 2- THE PROOF OF INSURANCE SHALL BE AS FOLLOWS: COMMERCIAL GENERAL LIABILITY, CONTRACTUAL PERSONAL INJURY, AUTOMOBILE LIABILITY, MEDICAL PAYMENTS AND UMBRELLA LIABILITY... FAILURE TO SUBMIT CERTIFICATE OF INSURANCE MAY CAUSE YOUR BID TO BE DISQUALIFIED

PLUMBING NOTES

- 1- ALL PLUMBING WORK SHALL BE IN STRICT CONFORMANCE WITH ALL STATE AND LOCAL CODES... 2- HOT WATER HEATING SHALL HAVE A MINIMUM TEMPERATURE SETTING OF 140 DEGREES F... 3- PROVIDE HOT AND COLD WATER SUPPLY LINES TO A NEW REFRIGERATOR AS REQUIRED BY MANUFACTURER'S SPECIFICATIONS... 4- PROVIDE INSULATION ON ALL NEW PIPING AS REQUIRED BY CODE...

- 5- ALL WORK LET UNDER THESE DRAWINGS SHALL BE GUARANTEED AGAINST DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF THE ACCEPTANCE OF THE OWNER... 6- THE FREIGHTS SHALL NOT CONSTITUTE ACCEPTANCE OF THE WORK... 7- EACH CONTRACTOR SHALL ALSO DELIVER TO THE OWNER WRITTEN GUARANTEE IN FORM AND PHASE TERMS AND EXTENT WILL BE ESTABLISHED IN THE AGREEMENTS BETWEEN EACH CONTRACTOR AND THE OWNER...

- 1- THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF THE GENERAL CONTRACTOR OR ANY SUB-CONTRACTORS WORK SHALL HE GUARANTEE THE PERFORMANCE OF HIS CONTRACTS... 2- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR WORK HAS CONTROL OR CHARGE OF CONSTRUCTION MEANS, SEQUENCES, OR PROCEDURES, OR FOR SAFETY OPERATIONS... 3- THE ARCHITECT HAS NOT BEEN RETAINED ON THIS PROJECT FOR BIDDING AND/OR THE NEGOTIATION AND ADMINISTRATION OF THE CONTRACTS FOR CONSTRUCTION OF THIS PROJECT...

- 1- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY ELECTRICAL, WATER, TOILET FACILITIES, FENCING, BARRICADES, SECURITY, AND CLEAN UP AS AGREED UPON BETWEEN THE OWNER AND THE CONTRACTOR... 2- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ALL AFFECTED AREAS AND CART AWAY ALL DEBRIS... 3- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LOSSES OF DAMAGE ARISING FROM THE ACTION OF THE ELEMENTS SUCH AS WATER, HEAT, WIND OR OTHER UNFORESEEN DIFFICULTIES THAT MAY BE ENCOUNTERED IN PERFORMING THE WORK...

- 1- THE CONTRACTOR SHALL ASCERTAIN THAT THE AREA OF DEMOLITION HAS BEEN CLEARED OF ALL FURNITURE AND MOVABLE EQUIPMENT IN ORDER TO ALLOW FOR DEMOLITION TO PROCEED... 2- ALL ELECTRICAL HIGH OR LOW VOLTAGE CONDUITS, WIRES, INSTRUMENTS AND EQUIPMENT ADJACENT TO OR CONTAINED WITHIN PARTITIONS TO BE REMOVED BACK TO THE NEXT PANEL BOARD AND SHUTDOWN... 3- THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR ALL WORK, INCLUDING PERMITS FOR TRANSPORTING AND DISPOSAL OF DEBRIS AND OTHERS AS REQUIRED BY AUTHORITIES HAVING JURISDICTION INCLUDING ANY HAZARDOUS MATERIALS THAT MAY BE DISCOVERED...

- 1- PROVIDE KEYPHOLES @ 2'-0" O.C. 2- PROVIDE GALVANIZED WALL TIES TO ANCHOR BRICK 3- DOWELWALL REINFORCED @ 18" O.C. VERTICALLY 4- EXPANSION JOINTS @ 30'-0" O.C. VERTICALLY (MAX) AND AT INTERSECTIONS

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- 1- PERFORM REQUIRED ALTERATIONS TO EXISTING CONCRETE NEW WORK INSTALLED ADJACENT TO AND CONNECTING WITH PRESENT WORK SHALL MATCH EXISTING JOINTS BETWEEN NEW AND EXISTING WORK SHALL BE TROWELED SMOOTH AND EVEN... 2- FORMWORK AT DIFFERENT LEVELS SHALL BE STEPPED SO THAT THE CLEAR DISTANCE BETWEEN ADJACENT BOTTOM EDGES SHALL NOT EXCEED A SLOPE OF ONE VERTICAL TO TWO HORIZONTAL, OR DEPENDENT UPON LOCAL GOVERNING CODES, WHICHEVER IS PREVALENT... 3- CONCRETE FOUNDATIONS SHALL BE POURED CONTINUOUSLY... IF POUR IS INTERRUPTED A VERTICAL KEY SHALL BE PROVIDED... 4- CONTRACTOR SHALL VERIFY DIMENSIONS AND LOCATIONS OF SLOTS, PIPE SLEEVES, INSERTS, ANCHOR BOLTS, ELECTRIC CONDUITS, ETC AS REQUIRED FOR TRADES BEFORE PLACING CONCRETE...

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DOOR, GRADING AND LANDSCAPING

- 1- CONTRACTOR SHALL FROM EFFECTED AREAS OF THE SITE AND REDISTRIBUTE ALL TOPSOIL UPON COMPLETION OF THE WORK, PROVIDING FOR FINISHED GRADING AND RESEEDING OF THE LAWN AS DIRECTED BY THE OWNER... 2- BACKFILL SHALL NOT BE PLACED AGAINST FOUNDATION WALLS UNTIL THE CONCRETE IS OF SUFFICIENT STRENGTH AND UNTIL THE WALLS ARE PROPERLY BRACED TO TOP... 3- GRADING AROUND ALL NEW CONSTRUCTION SHALL SLOPE AWAY FROM THE FOUNDATION WALL AND SHALL BLEND INTO EXISTING GRADES... 4- ALL SITE DESIGN INCLUDING TOPOGRAPHY, STORM DRAINAGE, SPECIAL PAVING, LANDSCAPING, ETC. SHALL BE PROVIDED BY OTHERS UNLESS SPECIFIED HEREIN... 5- CONTRACTOR SHALL PROVIDE FOR ALL DRIVEWAY MODIFICATIONS AS REQUIRED ALLOWING FOR ACCESS TO AND FROM THE SITE... ALL NEW CURBS, CURB CUTS AND PAVING MUST COMPLY WITH ALL REQUIREMENTS FOR THE GOVERNING MUNICIPALITY 4 2015 I.R.C.

DOOR AND WINDOW NOTES

- 1- ALL NEW WINDOWS SHALL BE PERMA-SHIELD FINISH IN WHITE AS MANUFACTURED BY ANDERSON OR APPROVED EQUAL - FINISHED WITH INSECT SCREENS, GRILLS, JAMB EXTENSIONS, TRIM, ETC. WITH 5/8" INSULATED GLASS UNLESS OTHERWISE AGREED TO... 2- ALL EXTERIOR DOORS WITHOUT GLAZING SHALL HAVE KICK HOLES INSTALLED... 3- ALL WINDOWS 4 DOORS WITH GLAZING 18" OR BELOW ABOVE FINISHED FLOOR (A.F.F.) SHALL BE COVERED WITH TEMPLER GLASS IF PROJECT LIES WITHIN A MILE OF THE COAST LINE, ALL WINDOWS 4 DOORS SHALL BE ORDERED WITH LAMINATED GLASS... 4- CONTRACTOR TO VERIFY ALL ALL OF THE ARCHITECT'S WINDOW 4 DOOR SPECIFICATIONS PRIOR TO ORDERING ANY WINDOW/DOORS... IF THERE ARE ANY DISCREPANCIES WITH SIZES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONSULT WITH ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK... 5- CONTRACTOR SHALL CONSULT WITH OWNER PRIOR TO ORDERING ANY WINDOW AND DOOR HARDWARE FOR OWNER SPECIFICATIONS

ROOFING

- 1- ALL METAL FLASHING WHERE CALLED FOR ON PLANS SHALL BE COPPER OR ALUMINUM... 2- CONTRACTOR SHALL PROVIDE GUTTERS AND LEADERS AS REQUIRED AND SHALL CONNECT THEM TO THE APPROVED STORM WATER DRAINAGE SYSTEM... 3- ALL SKYLIGHT OPENINGS SHALL BE PROPERLY FLASHED... 4- ALL WORK SHALL BEAR A WRITTEN ONE (1) YEAR GUARANTEE FROM ROOFING CONTRACTOR FROM THE DATE OF THE OWNER'S ACCEPTANCE, ADDITIONAL MANUFACTURER WARRANTIES SHALL BE PROVIDED WHEN APPROPRIATE... 5- ALL ROOF INTERSECTIONS TO HAVE FLASHING TO EXTEND 6" (MEASURED VERTICALLY) ABOVE FLAT ROOF... 6- FOR ROOFS PITCHED 3:12 AND UP, NEW ROOFING SHALL BE ASPHALT SHINGLES (UNLESS OTHERWISE NOTED) OVER 15# FELT, 1 LAYER OF UNDERLAYMENT REQUIRED WHEN ROOF PITCH IS 4:12 AND ABOVE, OTHERWISE TWO LAYERS SHALL BE USED FROM 3:12 UP TO 4:12, INSTALL AND LAP JOINTS AS PER 2015 I.R.C. AND MANUFACTURER'S SPECIFICATIONS USING AN ICE AND WATER SHIELD UNDERLAYMENT WITHIN 2'-0" (PROJECTED HORIZONTALLY) FROM THE INTERIOR SIDES OF EXTERIOR WALLS BELOW, FOR ALL ROOF OVERHANGS OVERHANGS ASPHALT SHINGLES TO BE ATTACHED WITH A MIN OF 1"X10 1/2" LONG GALVANIZED ROOFING NAILS MIN TWO PER SINGLE SHINGLE AND SIX PER STRIP SHINGLE... 7- FOR ROOFS PITCHED BETWEEN 1:12 AND 3:12, NEW ROOFING SHALL BE ROLLED ROOFING WITH AN ICE AND WATER SHIELD UNDERLAYMENT WITHIN 2'-0" (PROJECTED HORIZONTALLY) FROM THE INTERIOR SIDES OF EXTERIOR WALLS BELOW, FOR ALL ROOF OVERHANGS... 8- FOR ROOFS BELOW 1:12 BUILT UP ROOFING SHALL BE A 20 YEAR JOHNS MANVILLE ROOFING SYSTEM, CONSISTING OF 1 LAYER OF NRH1 150, 1 LAYER OF DYNABASE SET IN MBRCAA, AND 1 LAYER OF DYNAPAK SET IN MBRCAA... 9- NEW WORK SHALL TIE IN AND LAP 50 AS TO PREVENT LEAKAGE ACCORDING TO ACCEPTABLE BUILDING PRACTICES DESCRIBED IN THE 2015 I.R.C... 10- ALL EXTERIOR HAULING SHALL BE ALUMINUM OR GALVANIZED... 11- FLASHING TO BE PROVIDED AT ALL ROOF PENETRATIONS, PIPES, VENTS, SKYLIGHTS, CHIMNEYS AND ROOF VENTILATORS FLASHING TO BE PROVIDED AT HIP, RIDGES, VALLEYS, CHANGES OF ROOF SLOPE, GABLE ENDS AND TOP OF FOAM WALLS... 12- INSTALL SHIMS TO PROVIDE ROOF PITCH UNDER SHEATHING AND PERPENDICULAR TO THE ROOF JOISTS TO PROVIDE FOR ROOF VENTING IN FLAT ROOF AREAS... 13- ALL INTERIOR LEADERS ARE TO HAVE 1/2" FOAM SOUND INSULATION OVER PVC PIPING... 14- CONTRACTOR SHALL PROVIDE GUTTERS AND LEADERS AS REQUIRED AND SHALL CONNECT THEM TO THE APPROVED STORM WATER DRAINAGE SYSTEM

- 1- TRIM, MOLDINGS, CASINGS, WINDOW FRAMES, ETC. SHALL MATCH EXISTING UNLESS OTHERWISE NOTED ON DRAWINGS, PAINT OF STAIN AS PER OWNER... 2- CONTRACTOR SHALL PROVIDE WOOD STEPS TO GRADE (UNLESS OTHERWISE NOTED) NUMBER OF STEPS REQUIRED TO BE DETERMINED IN FIELD... 3- ALL EXTERIOR WOOD FENCE AND DECKING MATERIALS TO BE WATER SEALED... 4- CONTRACTOR SHALL SEAL AND / OR PRIME ALL DOORS IMMEDIATELY UPON INSTALLATION TO AVOID WARPING... 5- ALL GLAZING AND SKYLIGHTS SHALL BE IN ACCORDANCE WITH THE 2015 I.R.C. FOR IMPACT RESISTANCE

- 6- ALL GYPSUM BOARD WALLS AND CEILINGS SHALL BE TAPED AND SANDED WITH A FIN OF 3 COATS OF SPACKLE, PRIMED AND READY FOR WALL FINISHING, AS PER OWNER... 7- THE OWNER SHALL SELECT ALL COLORS FOR APPLIANCES, PAINT, TILE, CABINETRY, EXTERIOR PAINTING, COUNTER TOPS, AND KITCHEN CABINETRY... 8- CABINETRY SHALL BE FURNISHED AND INSTALLED AT THE OWNER'S DISCRETION UNLESS OTHERWISE AWARDING IN THE CONTRACT... 9- CONTRACTOR SHALL PATCH AND MATCH ALL FINISHES AFFECTED BY THE NEW CONSTRUCTION FOR BOTH THE INTERIOR AND EXTERIOR... 10- UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL BROOM CLEAN ALL AFFECTED AREAS AND CART AWAY ALL DEBRIS... 11- WATERPROOF ALL BATHROOM FLOOR AND PROVIDE LOVE BASE AS PER 2015 I.R.C... 12- ALL STAIR CONSTRUCTION TO COMPLY WITH 2015 I.R.C... 13- GLASS ENCLOSURES AROUND SHOWERERS AND TUBS SHALL BE IN COMPLIANCE WITH THE 2015 I.R.C

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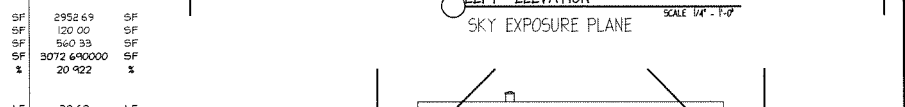
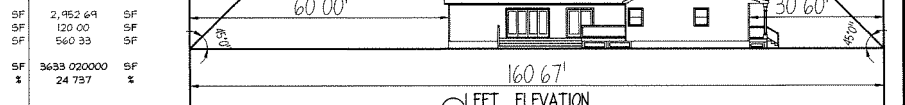
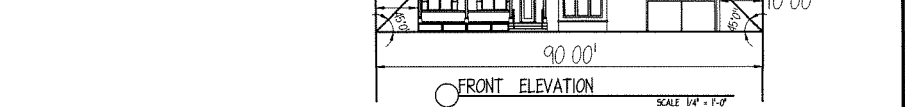
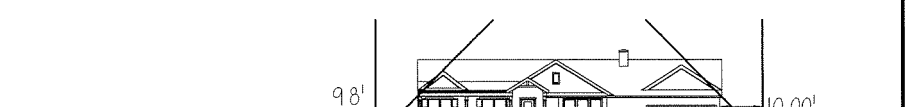
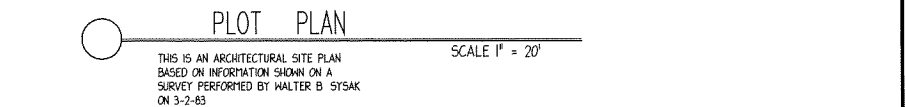
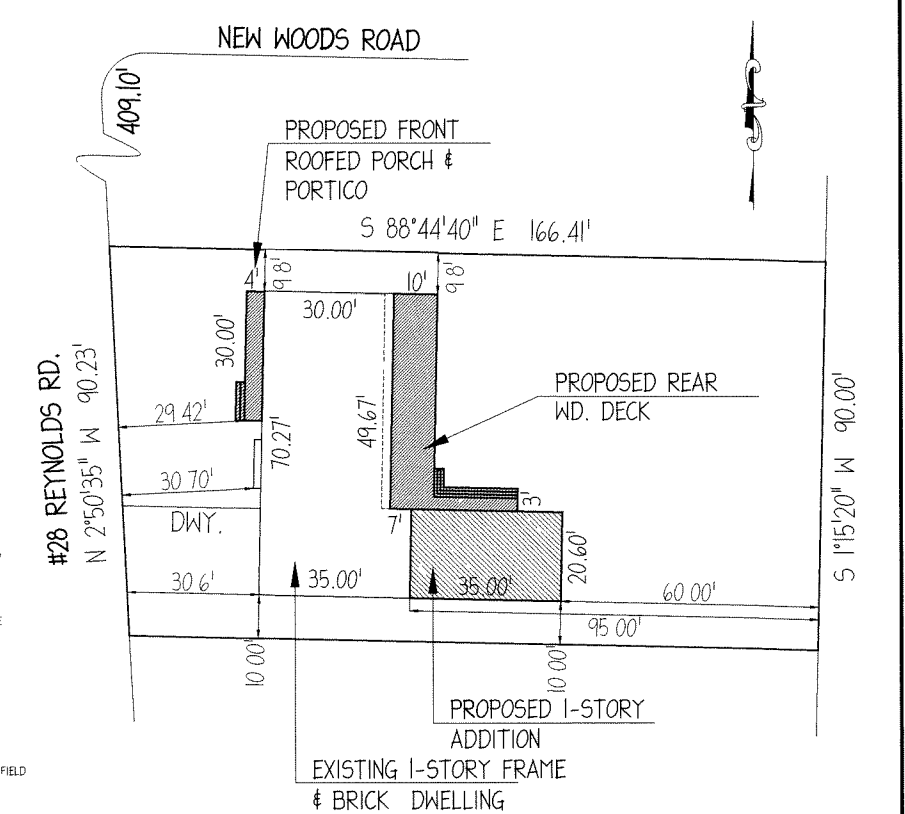
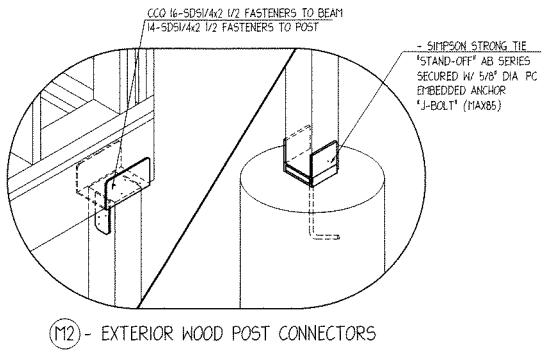


Table with 3 columns: REVISIONS TO PRELIMINARY DRAWINGS, REVISIONS TO FINAL DRAWINGS, MUNICIPALITY AMENDMENTS. Each column has rows for revision number, date, and by whom.

CONSTRUCTION DOCUMENTS SHEET TITLE: OYSTER BAY DRAFTING AND ARCHITECTURE, P.C. PROJECT NAME: BEN DAVID RESIDENCE 28 REYNOLDS RD, GLEN COVE, NY 11542. Includes date 5/20/21, scale AS NOTED, and sheet number 1 of 7. Also includes a logo for Oyster Bay Drafting and Architecture, P.C.

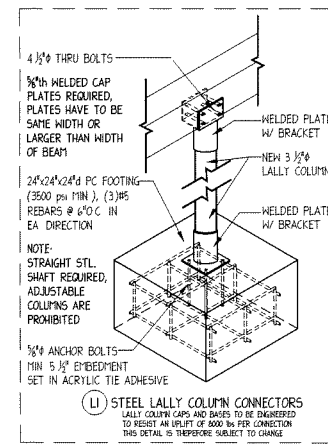


FOUNDATION REQUIREMENTS:

- ALL SPECIFIED P.C. FOUNDATIONS COMPLY W/ 2020 NYS RESIDENTIAL CODE: R404.1 AND R403
- ALL SPECIFIED P.C. FOOTINGS COMPLY W/ 2020 NYS RESIDENTIAL CODE R403.1
- FOUNDATION WALL TO EXCEED 4" ABOVE ADJACENT FINISHED GRADE AS PER R404.1.6 OF THE 2020 NYS RESIDENTIAL CODE

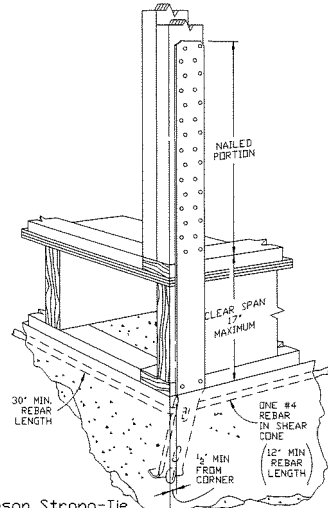
NEW 8"th P.C. FOUNDATION TO REST ON 1/2" P.C. FOOTING TO BEAR ON UNDISTURBED SOIL W/3500min PSI #36" BELOW GRADE, (2) #5 REBAR TO RUN HORIZ. ALONG THE PERIMETER #4" FROM THE TOP & #4 REBAR VERTICALLY SET #12" THROUGH FDN. INTO THE FOOTING; TROMEL ASPHALT WATERPROOFING BELOW GRADE

NEW 2" AGO FOR SILL PLATES, 5/8" ANCHOR BOLTS #36" SILL SEALER & TERMITES SHIELD REQUIRED

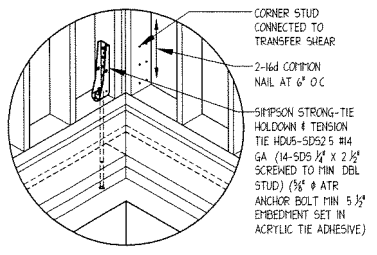


LEGEND			
	C.M.D.	C.T.	COLLAR TIES
	SD	R.R.	ROOF RAFTER
	ALUM	C.J.	CEILING JOIST
	DW	O.C.	ON CENTER
	EXIST	FTG.	FOOTING
	FF	P.C.	POURED CONCRETE
	FNEN	GALV.	GALVANIZED
	FWD	BN	BEAM
	GWB	DN	DOWN
	HDR	DBL	DOUBLE
	INSUL	FRYK	FRAMING
	M.C.	T.V.	TRUE VALLEY
	M.S.	V.L.	VALLEY LEDGER
	th	PLYMD	PLYWOOD
	HD	ML	MICROLAM
	W.I. CL.	STL	STEEL
	VIF		

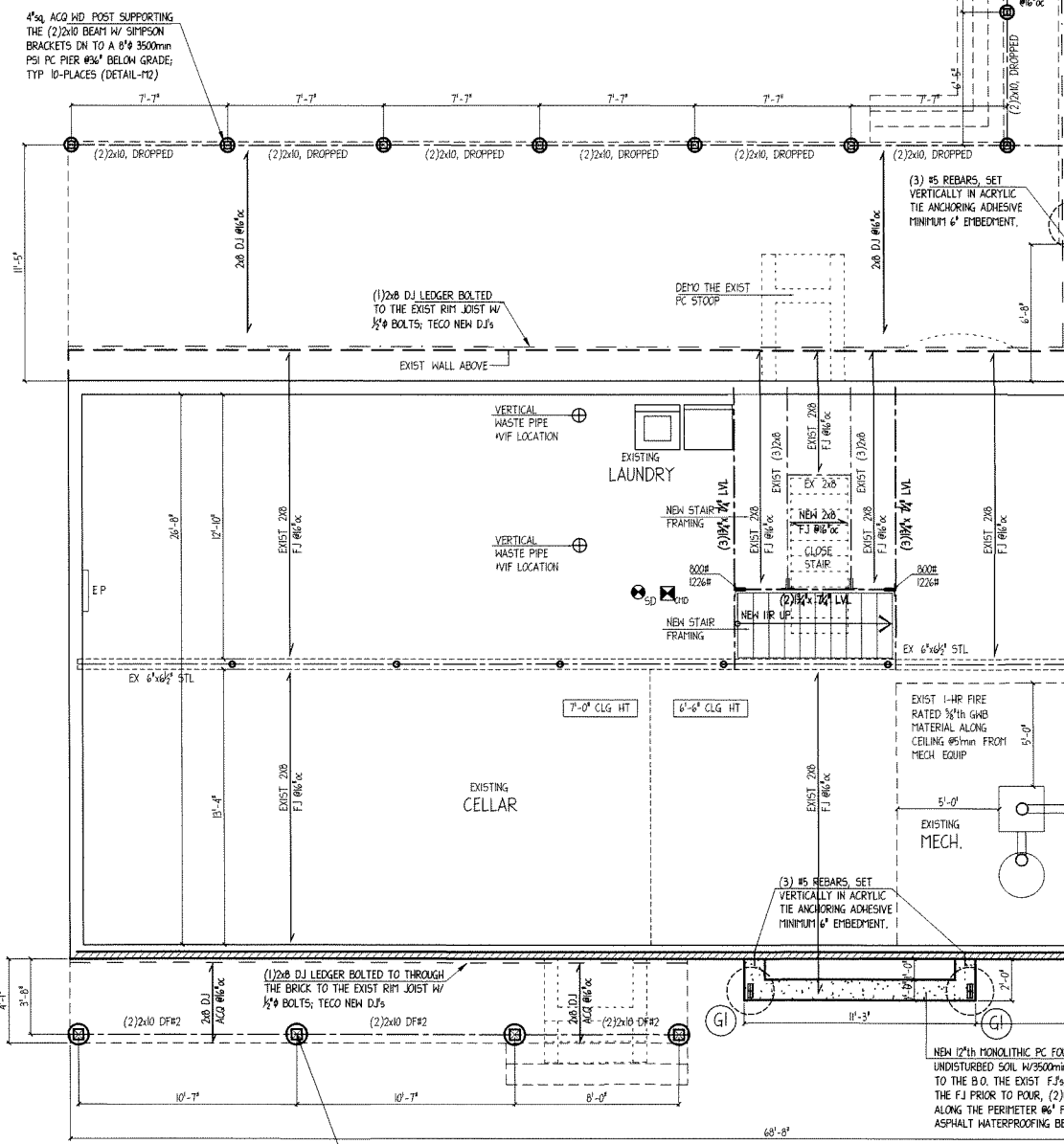
WALL LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REMOVED
	NEW EXTERIOR WALL: EXTERIOR FINISH AS PER ELEVATION ON TYVEK BLDG. PAPER, OR 15LB BUILD PAPER OR EQUAL, ON 1/2" PLYMD SHEATHING, ON 2x4 HD STUDS @ 16" O.C. W/ R-15 BATT INSULATION BETWEEN THE STUDS & 1" R-5 RIGID INSULATION ON EXTERIOR; 1/2" GWB ON INTERIOR SIDE
	NEW INTERIOR PARTITIONS: NEW 2x4 HD STUDS @ 16" O.C. W/ 1/2" GWB ON EACH SIDE
	NEW BEARING WALL: NEW 2x4 HD STUDS @ 16" O.C. W/ 1/2" GWB ON EACH SIDE. PROVIDE SOLID FULL-WIDTH BLOCKING UNDER ALL NEW BEARING PARTITIONS
	NEW FIRE-RATED WALL: NEW 2x4 HD STUDS @ 16" O.C. W/ ONE LAYER 5/8" TYPE "X" GWB ON EACH SIDE (ONE-HOUR FIRE RATING)
	NEW NON-WALL: NEW 2x4 HD STUDS @ 16" O.C. W/ 1/2" GWB ON EACH SIDE. WIDTH & HEIGHT TO VARY - SEE PLANS
	NEW FOUNDATION WALL: NEW 8"th P.C. FOUNDATION TO REST ON 1/2" P.C. FOOTING TO BEAR ON UNDISTURBED SOIL W/3500min PSI, (2) #5 REBAR TO RUN HORIZ. ALONG THE PERIMETER #4" FROM THE TOP & #4 REBAR VERTICALLY SET #12" THROUGH FDN. INTO THE FOOTING; TROMEL ASPHALT WATERPROOFING BELOW GRADE
	NEW 12"th MONOLITHIC PC FOUNDATION TO BEAR ON UNDISTURBED SOIL W/3500min PSI #36" BELOW GRADE AND TO THE B.O. THE EXIST. F.J.s. AFFIX RUBBER GASKET TO THE F.J. PRIOR TO POUR, (2) #5 REBAR TO RUN HORIZ. ALONG THE PERIMETER #4" FROM THE BOTTOM, TROMEL ASPHALT WATERPROOFING BELOW GRADE



(G2) - CORNER HOLDDOWN TO FOUNDATION



(G1) - CORNER HOLDDOWN TO FOUNDATION



REVISIONS TO PRELIMINARY DRAWINGS			REVISIONS TO FINAL DRAWINGS			MUNICIPALITY AMENDMENTS		
#	DATE	BY	#	DATE	BY	#	DATE	BY
1	9-21-20	AS PER OWNER	1			1		
2	10-12-20	AS PER OWNER	2			2		
3	10-30-20	AS PER OWNER	3			3		
4	11-4-20	AS PER OWNER	4			4		
5	11-23-20	AS PER OWNER	5			5		
6			6			6		
7			7			7		

TABLE R402.2 MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE

TYPE OR LOCATION OF CONCRETE INSTRUCTION	MINIMUM SPECIFIED COMPRESSIVE STRENGTH WEATHERING POTENTIAL		
	NEGLECTIBLE	MODERATE	SEVERE
BASEMENT WALLS, FOUNDATIONS AND OTHER CONCRETE EXPOSED TO THE WEATHER	2,500	2,500	2,500
BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR SLABS	2,500	2,500	2,500
BASEMENT WALLS, FOUNDATIONS WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO THE WEATHER	2,500	3,000	3,000
PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER AND GARAGE FLOOR SLABS	2,500	3,000	3,500

CLASS OF MATERIAL

CLASS OF MATERIAL	LOAD BEARING PRESSURE (LBS PER SQ FT)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY AND FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GM AND GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND CLAYEY GRAVEL (SM, SP, SM, SC, GM, GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (CL, ML, MH AND CH)	1,500

REVISIONS TO PRELIMINARY DRAWINGS

REVISIONS TO FINAL DRAWINGS

MUNICIPALITY AMENDMENTS

SHEET TITLE: CONSTRUCTION DOCUMENTS FOUNDATION PLAN

PROJECT NAME: BEN DAVID RESIDENCE 28 REYNOLDS RD, GLEN COVE, NY 11542

OYSTER BAY DRAFTING AND ARCHITECTURE, P.C.

68 WEST MAIN STREET OYSTER BAY, NY 11771

(516) 422-5476 (FAX) 422-6235

WEB: WWW.OYSTERBAYDRAFTING.COM EMAIL: ARCHITECT@OYSTERBAYDRAFTING.COM

DATE: 5/2021

SCALE: AS NOTED

BY: DS

JOB NO: 20104

SHEET NO: 2 OF 7

POSTING NOTES

1. PROVIDE SIMPSON STRONGTIE ZMAX GALV. POST STAND-OFF BASE AT ALL "POST TO FTG OR FOUNDATION" CONNECTIONS (UNLESS POSTS BEAR DOWN ON EXISTING WOOD SILL PLATE; V.I.F.)
2. POSTING FOR HEADERS ABOVE DOORS & WINDOWS (I.E. GARAGE DOOR OPENINGS) NOT SHOWN U.O.N.; PROVIDE KING/JACK STUD "POSTING" DOWN TO EXISTING WOOD SILL PLATE
3. VERIFY IN FIELD ALL POST, PACKED STUD & LALLY COLUMN LOCATIONS PRIOR TO INITIATING WORK. ALERT THE ARCHITECT @ 516.922.5916 OF ANY DISCREPANCIES AS THIS MAY AFFECT BEAM LENGTHS
4. STUDS SHALL BE A MIN. OF NO. 3 GRADE, STANDARD OR STUD GRADE LUMBER AS PER SECTION R602.2 OF THE 2020 NYS RESIDENTIAL CODE

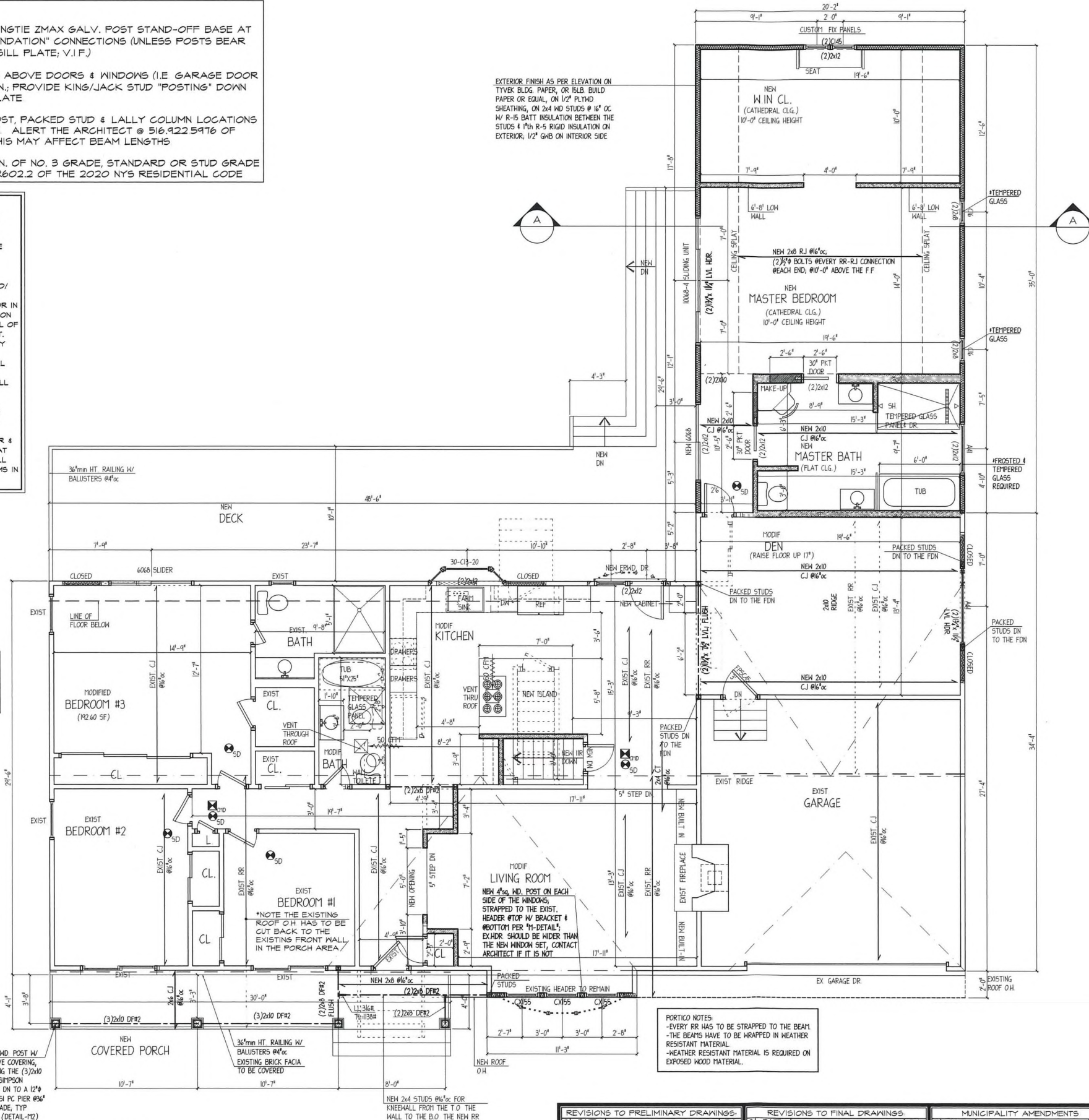
SMOKE ALARM & CARBON MONOXIDE ALARM NOTES:

(PER SECTIONS R314 & R315 OF THE 2020 NYS RESIDENTIAL CODE)

- SMOKE ALARMS AS SHOWN ON THESE PLANS SHALL BE INTERWIRED/ INTERCONNECTED BETWEEN THE BASEMENT, 1ST FLOOR & 2ND FLOOR IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS W/ ALL INTERVENING DOORS CLOSED. ONE CENTRALIZED ALARM HORN FOR ALL SMOKE DETECTORS IS REQUIRED

- CARBON MONOXIDE ALARMS AS SHOWN ON THESE PLANS SHALL BE INTERWIRED/ INTERCONNECTED BETWEEN THE BASEMENT, 1ST FLOOR & 2ND FLOOR IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT

EXTERIOR FINISH AS PER ELEVATION ON TYVEK BLDG PAPER, OR F.L.B. BUILD PAPER OR EQUAL, ON 1/2" PLYMD SHEATHING, ON 2x4 WD STUDS @ 16" OC W/ R-5 BATT INSULATION BETWEEN THE STUDS & 7/8" R-5 RIGID INSULATION ON EXTERIOR, 1/2" GIB ON INTERIOR SIDE



BEDROOM #3 - 192.60 SF		
EXIST L=5.73, V=3.30		
6068 L=29.8, V=17.85		
REQUIRED	PROVIDED	
LIGHT: 68	15.41 SF	35.53 SF
VENT: 48	7.70 SF	21.5 SF

FLOOR PLAN

SCALE 1/4" = 1'-0"

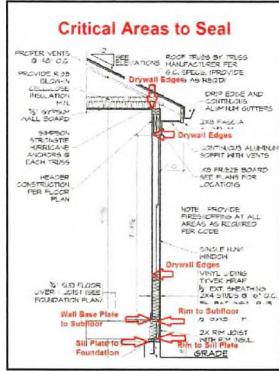
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5	11-23-20	AS PER OWNER
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REVISIONS TO FINAL DRAWINGS		
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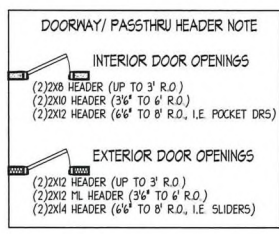
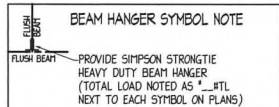
MUNICIPALITY AMENDMENTS		
#	DATE	BY
1		
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7		

STAIRCASE REQUIREMENTS:

- (PER SEC. R311.7 OF THE 2020 NYS RESIDENTIAL CODE)
- MIN 36" CLEARANCES (INCLUDING FOR LANDINGS, LANDING FACES MUST ADDITIONALLY BE AS WIDE AS STAIRCASE BEING "SERVED" IF SUCH IS GREATER THAN 36")
 - MIN 9" TREAD DEPTH (NO DIFFERENTIAL GREATER THAN 3/8" BETWEEN ANY TREADS)
 - MAX 8-1/4" RISER HEIGHT (NO DIFFERENTIAL GREATER THAN 3/8" BETWEEN ANY RISERS)
 - NO VERTICAL OPENINGS IN RISERS (I.E. SPACES) GREATER THAN 4"
 - MAX. 4" OC SPACING BETWEEN BALUSTERS, MIN. 34" TO MAX 38" HT HANDRAIL
 - MIN 6'-8" VERTICAL HEADROOM CLEARANCE THROUGHOUT
 - DOUBLE FRAMING ALL-AROUND
 - CONTRACTOR SHALL V.I.F ALL RISER/ TREAD DIMENSIONS & TOTAL RISER QUANTITY AT START OF "LIGHT CONSTRUCTION" & PRIOR TO FABRICATION; COORDINATE ALL INFORMATION/ DESIGN APPROVALS WITH OWNER
 - BUILDER SHALL FIELD-VERIFY LOCATIONS OF INSULATED WALLS ABUTTING FC FOUNDATION/ STAIRCASE ON CELLAR, FIRST & SECOND STORY LEVEL IN REGARD TO FUR-OUT REQUIREMENT @ CELLAR LEVEL & MINIMUM 3'-0" WIDTH STAIR REQUIREMENT (SINCE CELLAR STAIR IS "CONTAINED" UNDER FIRST STORY STAIR PERIPHERY) COORDINATE FINAL STAIR LOCATIONS & POSITIONINGS WITH STAIR MANUFACTURER/ STAIR SUBCONTRACTOR PRIOR TO FABRICATION & INSTALLATION IN FIELD



CRITICAL AIR-SEAL LOCATION



GENERAL WINDOW NOTES:

- ALL WINDOWS TO BE ANDERSEN OR APPROVED EQUAL, MINIMUM DP RATINGS AS PER DESIGN CRITERIA TABLE LOCATED ON DESIGN STANDARDS SHEET.
- ALL PROPOSED WINDOWS TO BE ANDERSEN "400" SERIES, MIN 18" FROM FINISHED FLOOR TO TOP OF SILL/ BOTTOM EDGE U.O.N.
- ALL UPLIFT CONNECTORS & NAILING SHALL BE IN ACCORDANCE W/ THESE PLANS, ALL LOAD PATHS SHALL BE AT EVERY EXTERIOR WALL STUD FROM FOUNDATION TO RIDGE
- ALL NEW/PROPOSED EXTERIOR WINDOWS AND GLASS DOORS DESIGNED TO RESIST WIND LOADS SPECIFIED IN 2020 NYS RESIDENTIAL FIGURES R301.2(5)(A) & R301.2(5)(B) AND ADJUSTED FOR HEIGHT AND EXPOSURE AS PER TABLE R301.2(3) ALL UNITS TESTED AND APPROVED BY INDEPENDENT LABORATORY AND HAVE LABELS POSTED FOR REVIEW IDENTIFYING THE MANUFACTURER PERFORMANCE CHARACTERISTICS AND APPROVED INSPECTION AGENCY TO INDICATE COMPLIANCE WITH REQUIREMENTS OF AAMANNWDA 10/1/15/2
- ALL OPERABLE WINDOWS HAVING SILLS LESS THAN 24" ABOVE THE FINISHED FLOOR AND GREATER THAN 12" ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE BUILDING'S EXTERIOR SHALL BE FITTED WITH "FALL PREVENTION DEVICES" (HAVING OPENINGS THAT DO NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH THE OPENINGS WHERE THE OPENING IS IN ITS LARGEST OPEN POSITION) THAT COMPLY WITH ASTM F 2090 AS PER SECTION R312.2 OF THE 2020 NYS RESIDENTIAL CODE
- ALL EXTERIOR WALLS ARE CONSTRUCTED AS TYPE I SHEAR WALLS (1/2" PLYND SHEATHING, W/ 8D COMMON NAILS @ 6" OC EDGE & 12" OC FIELD AS SPECIFIED IN SECTION 3.4.4.2 IN THE AMERICAN FOREST & PAPER ASSOCIATION WOOD FRAME CONSTRUCTION MANUAL, THEREFORE ALL CONTINUOUS EXTERIOR WALLS SHALL BE CONSIDERED SHEAR WALLS & ARE IN EXCESS OF THAT REQUIRED BY THE CODE ALL REQUIRED SHEAR WALL SEGMENTS SHALL BE A MINIMUM OF 28" WIDE FOR 8'-0" HIGH WALLS, 31" FOR 9'-0" HIGH, 35" FOR 10'-0" HIGH, & 38" FOR 11'-0" HIGH EXTERIOR WALLS AS PER THE REQUIRED ASPECT RATIO OF SHEARWALL SEGMENTS.
- AS PER 2020 NYS RESIDENTIAL CODE, SECTION R308 ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS (FACING "WET SURFACES", IN GUARDS & RAILS; ADJACENT TO STAIRS/ RAMP; ADJACENT TO THE BOTTOM STAIR LANDING; FRONT DOOR SIDELIGHTS) SHALL BE PROVIDED WITH MANUFACTURER'S OR INSTALLER'S LABEL, DESIGNATING THE TYPE & THICKNESS OF GLASS & THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES, WHICH IS VISIBLE IN THE FINAL INSTALLATION LABELS SHALL BE ACID ETCHED, SANDBLASTED, CERAMIC-FIRED, EMBOSSED MARK, OR SHALL BE OF A TYPE WHICH ONCE APPLIED CANNOT BE REMOVED WITHOUT BEING DESTROYED NO AFFIDAVIT LETTERS WILL BE ACCEPTED
- ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS (MASTER BATH SHOWER, FRONT DOOR SIDELIGHTS) SHALL BE PROVIDED WITH MANUFACTURER'S OR INSTALLER'S LABEL DESIGNATING THE TYPE & THICKNESS OF GLASS & THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES, WHICH IS VISIBLE IN THE FINAL INSTALLATION LABELS SHALL BE ACID ETCHED, SANDBLASTED, CERAMIC-FIRED, EMBOSSED MARK OR SHALL BE OF A TYPE WHICH ONCE APPLIED CANNOT BE REMOVED WITHOUT BEING DESTROYED NO AFFIDAVIT LETTERS WILL BE ACCEPTED FOR HAZARDOUS GLAZING AS PER SECTION R308 OF THE 2020 NYS RESIDENTIAL CODE

PORTICO NOTES
 - EVERY RR HAS TO BE STRAPPED TO THE BEAM
 - THE BEAMS HAVE TO BE WRAPPED IN WEATHER RESISTANT MATERIAL
 - WEATHER RESISTANT MATERIAL IS REQUIRED ON EXPOSED WOOD MATERIAL.



SHEET TITLE		CONSTRUCTION DOCUMENTS	
PROJECT NAME		FIRST FLOOR PLAN	
BEN DAVID RESIDENCE		28 REYNOLDS RD, GLEN COVE, NY 11542	
OYSTER BAY DRAFTING AND ARCHITECTURE, P.C.		DATE	5/2021
68 WEST MAIN STREET OYSTER BAY, NY 11771		SCALE	AS NOTED
(516) 922-5916 (FAX) 922-6295		BY	DS
WEB: WWW.OYSTERBAYDRAFTING.COM EMAIL: ARCHITECT@OYSTERBAYDRAFTING.COM		JOB NO.	20104

RECEPTACLE LOCATIONS:

RECEPTACLE LOCATIONS SHALL COMPLY WITH SECTION E3901.2 / FIGURE E3901.2 & SECTION E3901.4 / FIGURE E3901.4 OF THE 2020 NYS RESIDENTIAL CODE

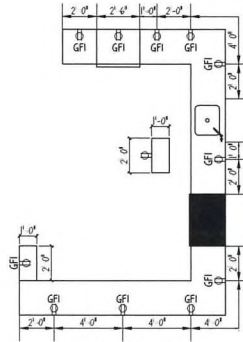


FIGURE E3901.4
COUNTERTOP RECEPTACLES

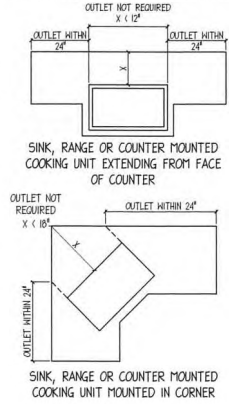


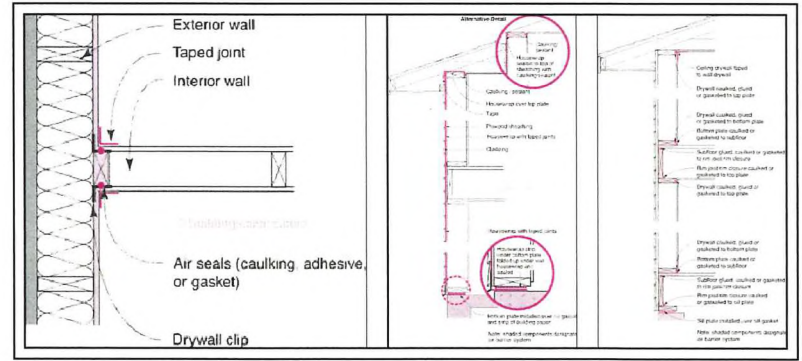
FIGURE E3901.2
GENERAL USE RECEPTACLE DISTRIBUTION

GENERAL ELECTRICAL NOTES:

- WIRING METHODS SHALL BE IN ACCORDANCE WITH SECTION E3801 OF THE 2020 NYS RESIDENTIAL CODE. ALLOWABLE APPLICATIONS FOR WIRING METHODS SHALL BE IN ACCORDANCE WITH TABLE E3801.4 OF THE 2020 NYS RESIDENTIAL CODE. GENERAL INSTALLATION AND SUPPORT REQUIREMENTS FOR WIRING METHODS SHALL BE IN ACCORDANCE WITH TABLE E3802.1 OF THE 2020 NYS RESIDENTIAL CODE.
- EACH NEW APPLIANCE FOR KITCHEN & LAUNDRY AREAS SHALL HAVE A DEDICATED CIRCUIT, MIN 20 AMP CAPACITY (VOLTAGE AS PER MFR'S REQUIREMENTS AS PER SECTION. ALL "SMALL APPLIANCE RECEPTACLES" IN KITCHEN LOCATIONS SHALL BE WIRED TO A MINIMUM OF TWO (2) DEDICATED 20 AMP CIRCUITS AS PER E3901.3 OF THE 2020 NYS RESIDENTIAL CODE.
- PROVIDE ARC-FAULT CIRCUIT-INTERUPTER PROTECTION FOR ALL NEW CIRCUITS AS PER SECTION E3902 OF THE 2020 NYS RESIDENTIAL CODE.
- PROVIDE MIN ONE (1) WALL SWITCH CONTROLLED LIGHTING OUTLET IN EACH HABITABLE ROOM, ALL EGRESS EXTERIOR LOCATIONS, GARAGE DOOR LOCATION & AS ADDITIONALLY NOTED PER SECTION E4001 OF THE 2020 NYS RESIDENTIAL CODE.
- ELECTRICIAN SHALL CONFIRM THAT AT LEAST ONE THERMOSTAT IS PROVIDED FOR EACH SEPARATE HEATING & COOLING SYSTEM AS PER THE REQUIREMENTS NOTED FOR COMPLIANCE WITH SECTION N103.1 OF THE 2020 NYS RESIDENTIAL CODE.
- CONTRACTOR TO COORDINATE ALL LIGHTING REQUIREMENTS WITH OWNER. PROVIDE ARTIFICIAL ILLUMINATION SOURCES (MIN. AVG. ILLUMINATION: 6FC) WITH WALL SWITCHES IN ALL HALLWAYS, BATHROOMS, WALK-IN CLOSETS, & CELLAR SPACES. REFER TO "ELECTRICAL NOTES" SECTION ON SHEET N-1 FOR ADDITIONAL ELECTRICAL REQUIREMENTS.
- ALL ELECTRICAL WORK SHALL BE CONFINED TO THE SPACE AND LOCATION ALLOWED FOR IT, AND SHALL BE IN STRICT CONFORMANCE TO THE NATIONAL ELECTRICAL CODE, GOVERNING MUNICIPALITY AND NFPA 72.
- CONTRACTOR SHALL INSTALL, AS PER OWNERS DIRECTION, ALL WIRING FOR NEW SWITCHES, FIXTURES, AND RE-CIRCUITING NECESSARY TO ALLOW FOR ALL NEW WORK, ALL REWIRING OF EXISTING FIXTURES AND LABELING OF CIRCUIT BREAKERS TO INDICATE CIRCUIT USE. FURNISH NFBU CERTIFICATE AT COMPLETION OF WORK.
- CONTRACTOR SHALL VERIFY WITH THE OWNER, LOCATION AND QUANTITY OF LIGHTING FIXTURES AND SWITCHES PRIOR TO PROVIDING BID ON PROJECT.
- CONTRACTOR MUST VERIFY WITH HIS LICENSED ELECTRICIAN IF AN UPGRADE OF ELECTRICAL SERVICE IS REQUIRED FOR THIS PROJECT PRIOR TO SUBMITTING A BID.
- CONTRACTOR TO VERIFY LOCATIONS OF MASTS, METERS, SUB-PANELS, ETC. FOR RELOCATION AS REQUIRED FOR THE PROJECT. CONTRACTOR MUST ALSO NOTIFY THE ARCHITECT OF LOCATIONS IF NOT SHOWN ON PLANS, PRIOR TO COMMENCEMENT OF WORK & BIDDING.

GENERAL LIGHTING NOTES:

- CONTRACTOR TO COORDINATE ALL LIGHTING REQUIREMENTS WITH OWNER. PROVIDE ARTIFICIAL ILLUMINATION SOURCES (MIN. AVG. ILLUMINATION: 6FC) WITH WALL SWITCHES IN ALL HALLWAYS, BATHROOMS, WALK-IN CLOSETS, & CELLAR SPACES. REFER TO "ELECTRICAL NOTES" SECTION ON SHEET N-1 FOR ADDITIONAL ELECTRICAL REQUIREMENTS.
- CONTRACTOR SHALL INSTALL, AS PER OWNERS DIRECTION, ALL WIRING FOR NEW SWITCHES, FIXTURES, AND RE-CIRCUITING NECESSARY TO ALLOW FOR ALL NEW WORK, ALL REWIRING OF EXISTING FIXTURES AND LABELING OF CIRCUIT BREAKERS TO INDICATE CIRCUIT USE. FURNISH NFBU CERTIFICATE AT COMPLETION OF WORK.
- CONTRACTOR SHALL VERIFY WITH THE OWNER, LOCATION AND QUANTITY OF LIGHTING FIXTURES AND SWITCHES PRIOR TO PROVIDING BID ON PROJECT.
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- CONTRACTOR TO VERIFY LOCATIONS OF MASTS, METERS, SUB-PANELS, ETC. FOR RELOCATION AS REQUIRED FOR THE PROJECT. CONTRACTOR MUST ALSO NOTIFY THE ARCHITECT OF LOCATIONS IF NOT SHOWN ON PLANS, PRIOR TO COMMENCEMENT OF WORK & BIDDING.

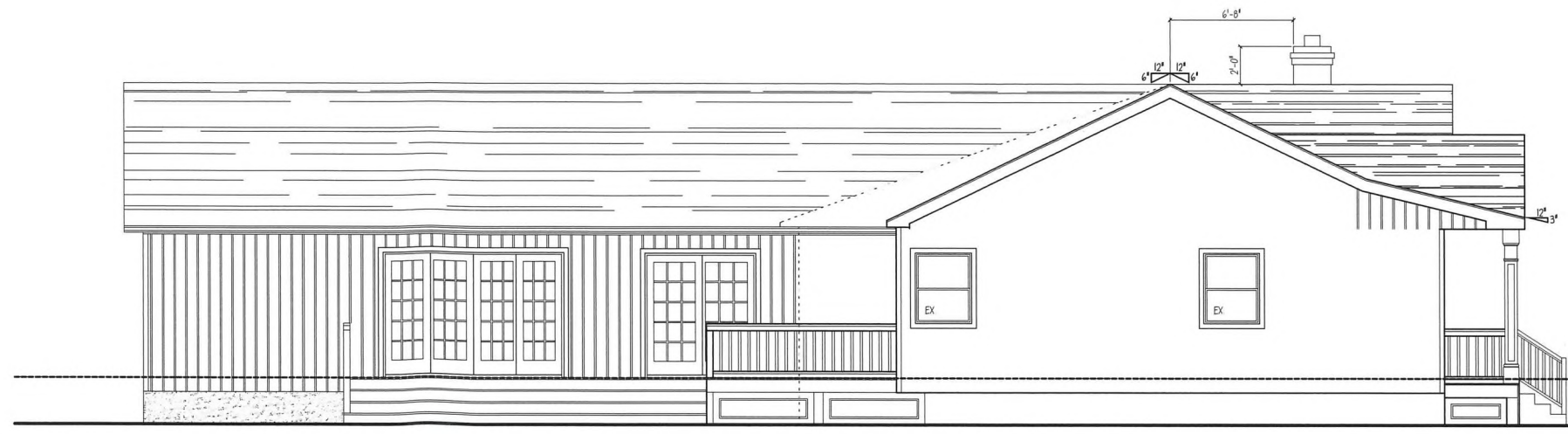


CRITICAL AIR-SEAL LOCATION



FRONT ELEVATION

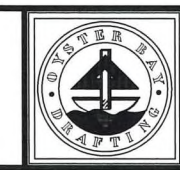
SCALE 1/4" = 1'-0"



LEFT ELEVATION

SCALE 1/4" = 1'-0"

REVISIONS TO PRELIMINARY DRAWINGS			REVISIONS TO FINAL DRAWINGS			MUNICIPALITY AMENDMENTS		
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4	11-4-20	AS PER OWNER	4			4		
5	11-23-20	AS PER OWNER	5			5		
6			6			6		
7			7			7		



SHEET TITLE
CONSTRUCTION DOCUMENTS
ELEVATIONS

PROJECT NAME
BEN DAVID RESIDENCE
28 REYNOLDS RD, GLEN COVE NY 11542

OYSTER BAY DRAFTING
AND ARCHITECTURE, P.C.

DATE 5/2021
SCALE AS NOTED
BY DS
JOB NO. 20104

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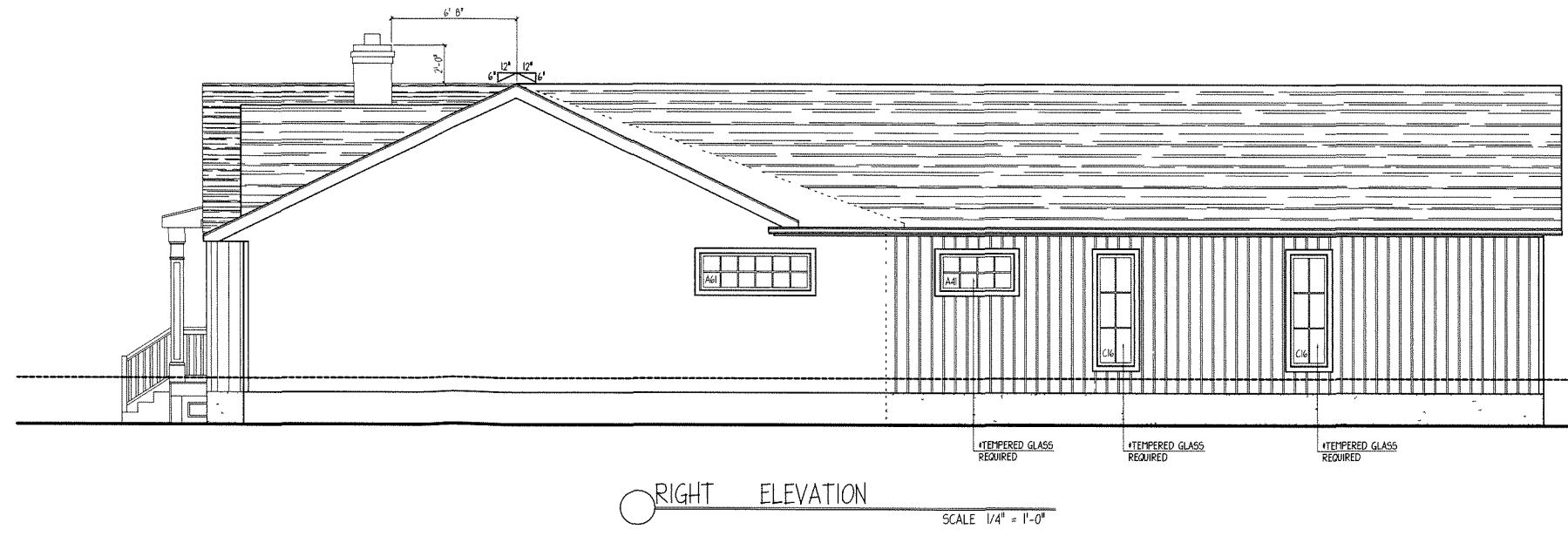
FRAMING DETAIL FOR HURRICANE TIES & NAILING SCHEDULE

WOOD FRAME CONSTRUCTION MANUAL, TABLE 3.1
NAILING SCHEDULE

JOINT DESCRIPTION	NUMBER OF COMMON NAILS	NUMBER OF BOX NAILS	NAIL SPACING
ROOF FRAMING			
RAFTER TO TOP PLATE (TOE-NAILED)	(SEE TABLE 3.4A)	(SEE TABLE 3.4A)	PER RAFTER
CEILING JOIST TO TOP PLATE (TOE-NAILED)	(SEE TABLE 3.4A)	(SEE TABLE 3.4A)	PER JOIST
CEILING JOIST TO PARALLEL RAFTER (FACE-NAILED)	(SEE TABLE 3.9A)	(SEE TABLE 3.9A)	EACH LAP
CEILING JOIST LAPS OVER PARTITIONS (FACE-NAILED)	(SEE TABLE 3.9A)	(SEE TABLE 3.9A)	EACH LAP
COLLAR TIE TO RAFTER (FACE-NAILED)	(SEE TABLE 3.6A)	(SEE TABLE 3.6A)	PER TIE
BLOCKING TO RAFTER (TOE-NAILED)	2- 8d	2- 10d	EACH END
RIM BOARD TO RAFTER (END-NAILED)	2- 16d	3- 16d	EACH END
WALL FRAMING			
TOP PLATE TO TOP PLATE (FACE-NAILED)	2- 16d ¹	2- 16d ¹	PER FOOT
TOP PLATES AT INTERSECTIONS (FACE-NAILED)	4- 16d	5- 16d	JOIST - EACH SIDE
STUD TO STUD (FACE-NAILED)	2- 16d	2- 16d	24" O.C.
HEADER TO HEADER (FACE-NAILED)	16d	16d	16" O.C. ALONG EDGES
TOP OR BOTTOM PLATE TO STUD (END-NAILED)	(SEE TABLE 3.5A)	(SEE TABLE 3.5A)	PER STUD
BOTTOM PLATE TO FLOOR JOIST, BANDJOIST, ENDJOIST OR BLOCKING (FACE-NAILED)	2- 16d ¹	2- 16d ¹	PER FOOT
FLOOR FRAMING			
JOIST TO SILL, TOP PLATE OR GIRDER (TOE-NAILED)	4- 8d	4- 10d	PER JOIST
BRIDGING TO JOIST (TOE-NAILED)	2- 8d	2- 10d	EACH END
BLOCKING TO JOIST (TOE-NAILED)	2- 8d	2- 10d	EACH END
BLOCKING TO SILL OR TOP PLATE (TOE-NAILED)	3- 16d	4- 16d	EACH BLOCK
LEDGER STRIP TO BEAM (FACE-NAILED)	3- 16d	4- 16d	EACH JOIST
JOIST ON LEDGER TO BEAM (TOE-NAILED)	3- 8d	3- 10d	PER JOIST
BAND JOIST TO JOIST (END-NAILED)	3- 16d	4- 16d	PER JOIST
BAND JOIST TO SILL OR TOP PLATE (TOE-NAILED)	2- 16d ¹	3- 16d ¹	PER FOOT
ROOF SHEATHING			
STRUCTURAL PANELS	8d	10d	(SEE TABLE 3.10)
DIAGONAL BOARD SHEATHING	1" x 4" OR 1" x 6"	2- 10d	PER SUPPORT
1" x 10" OR RIDER	3- 8d	3- 10d	PER SUPPORT
CEILING SHEATHING			
GYPSONUM WALLBOARD	5d COOLERS	5d COOLERS	7" EDGE / 10" FIELD
WALL SHEATHING			
STRUCTURAL PANELS	8d	10d	(SEE TABLE 3.11)
FIBERBOARD PANELS	6d ¹	-	3" EDGE / 6" FIELD
7/16"	8d ¹	-	3" EDGE / 6" FIELD
25/32"	5d COOLERS	5d COOLERS	7" EDGE / 10" FIELD
GYPSONUM WALLBOARD	8d	8d	(SEE TABLE 3.11)
HARDBOARD	8d	8d	(SEE MANUFACTURER)
PARTICLEBOARD PANELS	8d	8d	(SEE MANUFACTURER)
DIAGONAL BOARD SHEATHING	1" x 4" OR 1" x 6"	2- 10d	PER SUPPORT
1" x 10" OR RIDER	3- 8d	3- 10d	PER SUPPORT
WALL SHEATHING			
STRUCTURAL PANELS	1" OR LESS	8d	6" EDGE / 12" FIELD
GREATER THAN 1"	10d	16d	6" EDGE / 6" FIELD
DIAGONAL BOARD SHEATHING	1" x 4" OR 1" x 6"	2- 10d	PER SUPPORT
1" x 10" OR RIDER	3- 8d	3- 10d	PER SUPPORT

¹ NAILING REQUIREMENTS ARE BASED ON WALL SHEATHING NAILED 6" O.C. AT THE PANEL EDGE. IF WALL SHEATHING IS NAILED 12" O.C. AT THE PANEL EDGE TO OBTAIN HIGHER SHEAR CAPACITIES, NAILING REQUIREMENTS FOR STRUCTURAL MEMBERS SHALL BE DOUBLED OR ALTERNATE CONNECTORS SUCH AS SHEAR PLATES SHALL BE USED TO TRANSFER THE LOAD PATH.
² WHEN WALL SHEATHING IS CONTINUOUS OVER CONNECTED MEMBERS, THE TABULATED NUMBER OF NAILS SHALL BE PERMITTED TO BE REDUCED TO 1 1/2 PER FOOT. CONSIDER RESISTANT TO WIND BUCKLING UNLESS IN CASE STUDIES ARE PERMITTED. CONSULT THE MANUFACTURER FOR ADDITIONAL REQUIREMENTS.

* ALL LOAD PATHS FROM FOUNDATION TO ROOF ARE CONTINUOUS * AT EVERY WALL STUD *



REVISIONS TO PRELIMINARY DRAWINGS			REVISIONS TO FINAL DRAWINGS			MUNICIPALITY AMENDMENTS		
#	DATE	BY	#	DATE	BY	#	DATE	BY
1	9-21-20	AS PER OWNER						
2	10-12-20	AS PER OWNER						
3	10-30-20	AS PER OWNER						
4	11-4-20	AS PER OWNER						
5	11-23-20	AS PER OWNER						
6								
7								

CONSTRUCTION DOCUMENTS ELEVATIONS PROJECT NAME: BEN DAVID RESIDENCE 28 REYNOLDS RD., GLEN COVE, NY 11542 OYSTER BAY DRAFTING AND ARCHITECTURE, P.C. 68 WEST MAIN STREET OYSTER BAY NY 11771 (516) 422-5476 (FAX) 422-6235 WWW.OYSTERBAYDRAFTING.COM EMAIL: ARCHITECT@OYSTERBAYDRAFTING.COM	
DATE: 5/2021	SHEET NO: 7 OF 7
SCALE: AS NOTED	BY: DS
JOB NO: 20104	