# **David Jimenez, RA**Director of Building Department



Phone: (516) 320-7843 Fax: (516) 759-6711 www.glencoveny.gov

### **CITY OF GLEN COVE**

City Hall 9 Glen Street Glen Cove, New York 11542

### **BUILDING DEPARTMENT**

Date:

May 19, 2021

To:

The Chairman and Members of the Board of Appeals

Application:

One Story Addition & Front Porch & Wood Deck

Address:

28 REYNOLDS ROAD, Glen Cove, NY 11542

Type of USE:

1 FAMILY DWELLING

SECTION	BLOCK	LOT	ZONE	
031	81	5	R-2	

### **DENIED** for the following reasons:

### Variance 1

Pursuant to the Municipal Code of the City of Glen Cove, § 280-56 R-2 Half-Acre Residence District.

- **B.** Lot area and building requirements for principal uses. Lot area and building requirements for principal uses shall be as follows:
  - (6) Minimum side yard: 20 feet each.

**APPLICANT IS PROPOSING 9.8'** 

Variance 2
Pursuant to the Municipal Code of the City of Glen Cove, § 280-56 R-2 Half-Acre Residence District.
<b>B.</b> Lot area and building requirements for principal uses. Lot area and building requirements for principal uses shall be as follows:
(10) Maximum coverage: 15%
APPLICANT IS PROPOSING 24.73%
THIS IS FOR A ZONING BOARD APPLICATION ONLY. DOES NOT CONSTITITUTE APPROVAL OF DRAWINGS SUBMITTED FOR CONSTRUCTION.
Please contact the Board of Appeals secretary Rosa Rizzo at 676-4448 for variance applications and requirements.
(2) Variance(s) required \$400.00
Thank you,
David Jimenez
Director - The City of Glen Cove Building Department

# TOTAL TOTAL

### CITY OF GLEN COVE

# APPLICATION TO THE ZONING BOARD OF APPEALS FOR AN AREA VARIANCE

not meetin	g side set back and lot coverage code requirements.
Applicant's 1	Name, Address and phone number are:
Dana T. D	avidson (516)-650-5464 and Yosef Ben-David (212)-944-2500
28 Reynol	ds Rd. Glen Cove, NY 11542
If the Applic	ant is NOT the owner of record, the Applicant is (circle one):
a.	contract vendee (attached copy of contract) OR
b.	the tenant (attach copy of lease) OR
c.	prospective tenant (attach copy of conditional lease or binding letter of intent)
The address of	of the property which is the subject of this Application is:
28 Reynol	ls Rd. Glen Cove, N.Y. 11542
Nassau Coun	ty Land & Tax Map designation is:
Section: 03	Block: <u>81</u> Lot: <u>5</u>
City of Glen	Cove Zoning District is: R-2
Applicant bed	came the owner of the subject property onOctober 08, 2020
by deed dated	10/08/2020 recorded in Liber BK-D V1-13986 Page 86

State whether the subject premises is located within 500 feet of the boundary line of any Village or Town, of any County or State Park, of any County or State parkway, thruway, expressway, road or highway, of any County stream or drainage channel, of any County or State owned land on which a public building or institution is situated, or of any farm operation located in an agricultural district.
Yes No X
The Petitioner requests the following relief from the Board of Appeals:  1. Side yard - Proposing 9.8'
2. Lot Coverage - Proposing 24.73%
The Applicant seeks variance(s) from [or challenges interpretation of] the following section(s) of the Zoning Chapter 280 :
1. 280-56 R-2 Half-Acre
a. State how the granting of the relief requested will benefit the applicant and why it is necessary.
Current foot print outdated, too small; in need of updating of all systems
b. State why the requested variance(s) will not cause an undesirable change in the character of the neighborhood or a detriment to nearby properties if the application is granted.
Variance will not cause undesirable change in character of neighborhood or
others property. Design is in keeping with charm of neighborhood. All areas of
property will be beautfiul and reflect the charm of the neighborhood.

c. State why the benefit sought cannot be achieved by some method feasible for the Applicant to pursue other than an area variance.
We do not want to build up as this is not in keeping with the other ranch houses
on the block. As we get older, we would prefer not to climb stairs.
d. Describe the difference between the proposed dimensions and the Code requirement for each variance.
1. Minimum side yard is 20 Feet, we are proposing 9'.8"
2. Maximum Lot coverage 15%, We are requesting 24.73%
e. Explain why the requested relief will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.
The extension will be in the back of the house and will not be visible from the street.
The improvements to the front will be in keeping with the character of the neighborhood.
We are not taking any actions that will impact the enivornmental condition of the neighborhood.
Has the subject premises been the subject of prior applications for variances, special use permits and/or subdivisions?
Yes No X
If 'Yes', please describe and provide written decisions, if any, on those prior applications.

10.

State the names and phone numbers of any of the following licensed professionals who may appear at the public hearing representing the Applicant:
a. Attorney:
b. Architect: Oyster Bay Drafting & Architechture P.C 516-922-5976
c. Engineer: (P.E.):
d. Certified Planner:
If the Applicant is a corporation, the Petitioner has adopted a resolution (copy attached) authorizing the following corporate officer to act on its behalf:
N/A
Name Title
The approximate dimensions in linear feet of the subject premises (lot) are as follows:  a. Width: 30'
a. Width: b. Depth:
c. Size of lot (in acres): .33
c. Size of lot (in acres)
Are there current violations and/or criminal charges which relate to this Application pending against the subject premises and/or the Applicant?  Yes NoX
If 'Yes', please describe.
Too, please asserted.
Does the Applicant seek to legalize a use of land and/or structures and buildings which already exist?
Yes No X

16. The Applicant represents that Applicant has received a copy of the Board's Rules of Procedure and acknowledges that Applicant has complied with said Rules in all respects as the same apply to this Application.

I HAVE READ THE FOREGOING APPLICATION AND UNDERSTAND THAT ANY FALSE STATEMENT MADE THEREIN IS PUNISHABLE AS A CLASS 'A' MISDEMEANOR PURSUANT TO SECTION 210.45 OF THE NEW YORK STATE PENAL LAW.

Applicant's Signature

Date:  $\frac{06/08}{2021}$ 

### Every applicant before the Board of Zoning Appeals, including an owner, lessee, agent and contract vendee must execute this Disclosure Affidavit.

This preamble to this Disclosure Affidavit is intended to briefly explain the purpose of the affidavit. In general, New York State law requiring such an affidavit, was intended to disclose conflicts of interest when applications were made to the various Boards throughout the state. As applicable herein, the New York State Legislature, pursuant to General Municipal Law Section 809, has determined that every applicant making an application to the Board of Zoning Appeals of the City of Glen Cove should disclose whether any officer or employee of the state, the City of Glen Cove or the County of Nassau, or any Political Party officer has an interest in such application.

### Section 809(1) of the General Municipal Law states:

1. Every application, petition or request submitted for a variance, amendment, change of zoning, approval of a plat, exception from a plat or official map, license or permit, pursuant to the provision of any ordinance, local law, rule or regulation constituting the zoning and planning regulations of a municipality shall state the name, residence and nature and extent of the interest of any state officer or any officer or employee of such municipality or of a municipality of which such municipality is a part, in the person, partnership or association making such application, petition or request (hereinafter called the applicant) to the extent known to such applicant.

Party officer shall mean any person holding any party position or party office, whether by election, appointment or otherwise, in any party as defined by subd.5 of section 1-104 of the election law.

For the purpose of the Disclosure, as identified in General Municipal Law Section 809(2), an officer, or employee or party officer shall be deemed to have an interest in the applicant when the officer-employee-party officer his or her spouse or their brothers, sisters, parents, children, grandchildren or the spouse of any of them:

- (a) is the applicant, or
- (b) is an officer, director, partner or employee of the applicant, or
- (c) legally or beneficially owns or controls stock of a corporate applicant or is a member of a partnership or association applicant or
- (d) is a party to an agreement with such an applicant, express or implied, whereby he may receive any payment or other benefit, whether or not for services rendered, dependent or contingent upon the favorable approval of such application, petition or request.

### DISCLOSURE AFFIDAVIT

In the Matter of the Application of

DIRECTORS

DANA '	T. PRYIDSON tt(s) (Exactly as name appears on deed, lea	1/				
Name of Applican	n(s) (Exactly as name appears on deed, lea	ise and/or contract)				
restrictions, or (s	nodification, revocation of declaration of state other relief requested) which requires exercise of discretion by the Board w*	Affidavit of Certif provisions of Sec				
BEFORE	Board of Appeals of the City of Glen Cove	Refer to the pream	able before com	pleting this	s form.	
including an ov	nt before the Board of Zoning Appeals, wner, lessee, agent and contract vendee nis Disclosure Affidavit.					
STATE OF NEW	· · · · · · · · · · · · · · · · · · ·					
COUNTY OF NA	}ss.: ASSAU }					
Name (Exactly as	name appears on deed, lease and/or contra licable phrases, letters or words and fill in		v(s)	, being d	luly sworn,	
Your dep	oneni(s) is <del>(are) (an agent of) (an officer c</del>	of) the applicant() i	n the above ent	itled procee	eding (and)	
(who) is <del>(are)</del> the o	owner() in fee, <del>(contract vendee) (lessee)</del>	or (describe other ca	tegory) of the	premises re	ferred to m	
the application and	d is <del>(are)</del> interested in the outcome thereof	(except as otherwise	stated) and the	e are no otl	her persons	
interested either in	n the fee ownership or as holder of an encu	imbrance upon the p	roperty			
Your dep	onent's home address is as follows	8 REYNOLDS (street)	(town/city)	(state)	COF N	Y 11542
TO BE COMPLI	ETED BY BUSINESS - IF NOT APPLI	CABLE, PLEASE	LEAVE BLAN	<u>vk</u>		
Your dep	onent is an officer,					
of	(name of corpo	(office title)				
	(name of corpo	oration/company)				
a corporation duly	organized and existing under and by virti	ie of the laws of the	State of New Y	ork, with i	ts principal	
place of business as	t (street) (town	/city) (sta	te)	(zip)		
All office	ers, directors and shareholders and their ad	,	,	,cup)		
All office	OFFICERS	idiesses are as lotiov	ADDRESS			

ADDRESS



## MAP OF PROPERTY AT GLEN COVE

NASSAU

COUNTY, NEW YORK

FIELD SURVEY COMPLETED: JUNE 29, 2021

LICENSED LAND SURVEYOR LICENSE NO

CERTIFIED TO.

SURVEY FOR "BUILDING DEPARTMENT USE" ONLY

TAX SECTION: 31 TAX LOT(S):

TAX BLOCK: 81

A. AGUJO SURVEYING, INC



782 SALISBURY PARK DRIVE WESTBURY, NEW YORK 11590 TEL (516)333-6730 Fax (516)333-6740 EMAIL AGUJOSURVEYING@GMAIL.COM

> NORMAN T WOLF THOMPSON E WOLF

ARE NOT COVERED BY THIS CERTIFICATE PROPERTY CORNER MONUMENTS WERE NOT PLACED AS A PART OF THIS SURVEY GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. THE ALTERATION OF BOUNDARY SURVEY MAPS BY ANYONE OTHER THAN THE ORIGINAL PREPARER IS MISLEADING. CONFUSING. AN NOT IN THE GENERAL WELFARE AND BENEFIT OF THE PUBLIC

LICENSED LAND SURVEYORS SHALL NOT ALTER MAPS, SURVEY PLANS, OR SURVEY PLATS PREPARED BY OTHERS UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209 SUB-DIVISION 2 OF THE NEW YORK STATE EDUCATION LAW ONLY TITLE SURVEYS BEARING THE MAKERS EMBOSSED SEAL SHOULD BE RELIED UPON SINCE OTHER THAN EMBOSSED-SEAL COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS AND CHANGES A COPY OF THIS DOCUMENT WITHOUT A PROPER APPLICATION OF THE SURVEYOR'S EMBOSSED SEAL SHOULD BE ASSUMED TO BE AN UNAUTHORIZED COPY REPRODUCTION OR COPYRIGHT HOLDER IS OBTAINED VICINITY MAP AND STREET VIEW ARE NOT GUARANTEED AS ITS ACCURACY AND COMPLETENESS

(C) 2010-2021 A AGUJO SURVEYING INC ALL RIGHTS RESERVED SURVEY MAP COMPLETED: JULY 1, 2021

### CITY OF GLEN COVE

### ZONING BOARD OF APPEALS

### AFFIDAVIT OF POSTING

In the matter of the Board of Appeals petition of: Dana T. Davidson and Yosef Ben-David Address. 28 Reynolds Rd. Section 031 Block: 81 Lot: 5 State of New York lss: County of Nassau Dana T. Davidson being duly sworn, deposes and says: Dana T. Davidson is the applicant, [if corporation, give title] 1. THAT Yosef Ben-David , or an authorized agent or representative of the Applicant; 2. THAT this affidavit is made in compliance with the provisions of the Code of the City of Glen Cove, which requires an Affidavit of Posting; 3. THAT in compliance with the provisions of the Code of the City of Glen Cove, the deponent has posted or has caused to be posted upon the property which is the subject of the application a notice of said application; 4. THAT said notice was posted on the subject property on the 151 day of July 2021 ; 5. THAT said notice complies in all respects with the requirements as to size, form, content, material, location and time posting, elevation and length of time displayed. Sworn to before me this 2021 MICHAEL COCO Notary Public, State of New York
Reg. No. 02C04507009
Qualified in Nassau County
Commission Expires September 30, 20 Notary Public

<sup>\*</sup>Please return this form at least two (2) days prior to the Public Hearing with a photograph of the sign as posted\*







### CITY OF GLEN COVE

### ZONING BOARD OF APPEALS

### AFFIDAVIT OF MAILING NOTICE

subject premises a true copy of the Notice re	20 <u>21</u> , the undersigned sent by certified mail to each owner of property within 100 feet of the quired by the Rules of the Glen Cove Zoning Boards a copy of which Notice is hereto annexed. The and made part of this affidavit.
Coo otto ch mont	
See attachment	
(For additional name	es, please attach a separate sheet)
On theday ofV to each owner of property beyond 100 feet copy of the Notice required by the Rules following named persons:  See attachment	. 2021 , the undersigned sent by regular mail and within 300 feet of the subject premises a true of the Glen Cove Zoning Board Appeals to the
(For additional name	es, please attach a separate sheet)
	CATION AND UNDERSTAND THAT ANY FALSE LE AS A CLASS 'A' MISDEMEANOR PURSUANT TO PENAL LAW.
48	_
V b V	Dana T. Davidson
Applicant's Signature	Print Name
Date $06/25/2021$	

# **List of Names**

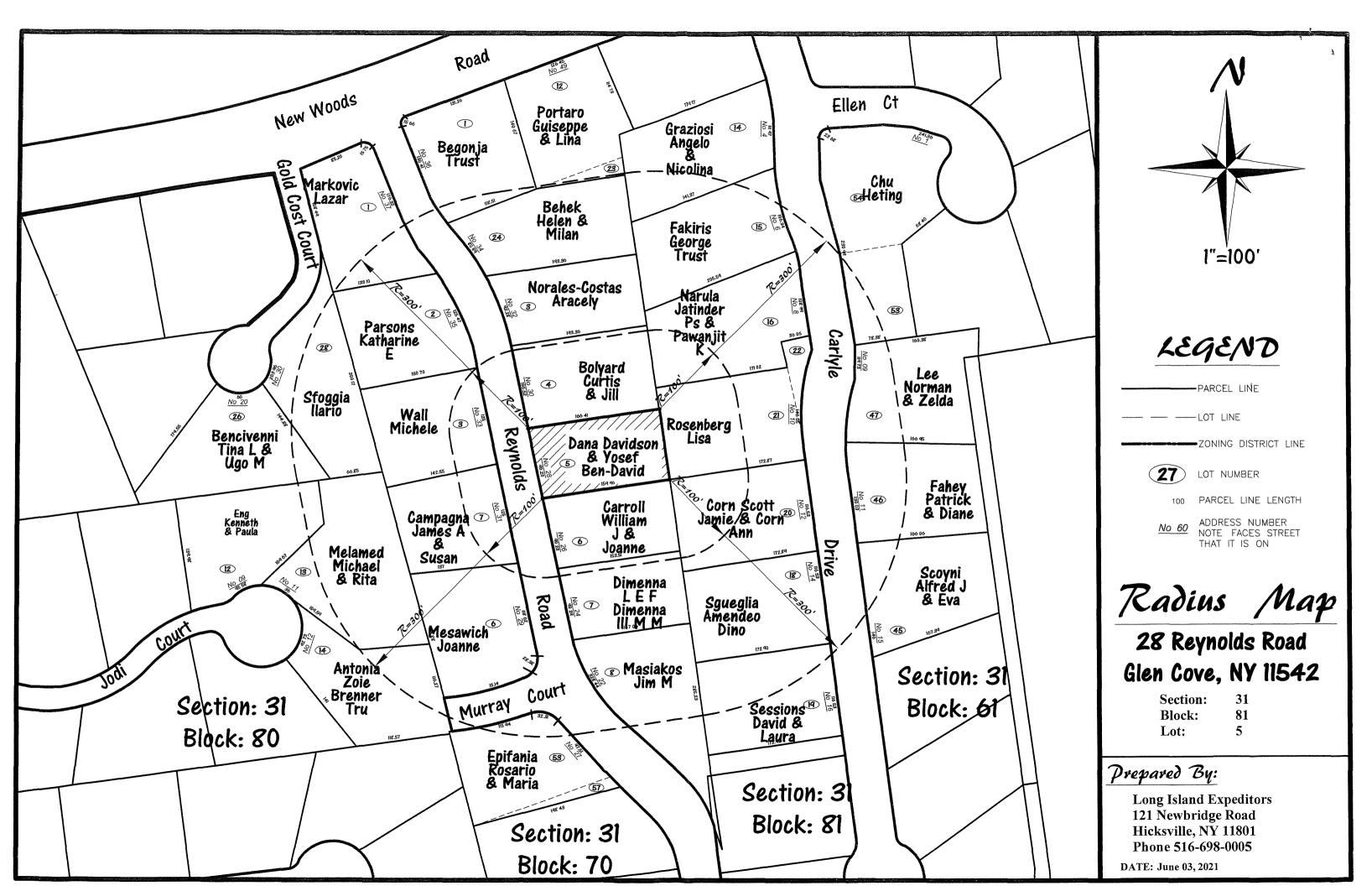
### Within 300 feet of 28 Reynolds Road, Glen Cove, NY 11542

	1		Properties Within 100 feet -	Certified Return Rece	ipt
Sec	Block	Lot	Owner Name	Address	Town
31	80	2	Parsons Katharine E	35 Reynolds Rd	Glen Cove, NY 11542
31	80	3	Wall Michele	33 Reynolds Rd	Glen Cove, NY 11542
31	80	7	Campagna James A & Susan	31 Reynolds Rd	Glen Cove, NY 11542
31	80	6	Mesawich Joanne	29 Reynolds Rd	Glen Cove, NY 11542
31	81	4	Bolyard Curtis & Jill	30 Reynolds Rd	Glen Cove, NY 11542
31	81	6	Carroll William J & Joanne	26 Reynolds Rd	Glen Cove, NY 11542
31	81	7	Dimenna L E F Dimenna III M M	24 Reynolds Rd	Glen Cove, NY 11542
31	81	16	Narula Jatinder Ps & Pawanjit K	8 Carlyle Dr	Glen Cove, NY 11542
31	81	21-22	Rosenberg Lisa	10 Carlyle Dr	Glen Cove, NY 11542
31	81	20	Corn Scott Jamie & Corn Ann	12 Carlyle Dr	Glen Cove, NY 11542
			Properties Within 300	feet - Regular Mail	
Sec	Block	Lot	Owner Name	Address	Town
31	80	26	Bencivenni Tina L & Ugo M	20 Gold Coast Ct	Glen Cove, NY 11542
31	80	28	Sfoggia Ilario	30 Gold Coast Ct	Glen Cove, NY 11542
31	80	1	Markovic Lazar	37 Reynolds Rd	Glen Cove, NY 11542
31	80	12	Eng Kenneth & Paula	9 Jodi Ct	Glen Cove, NY 11542
31	80	13	Melamed Michael & Rita	11 Jodi Ct	Glen Cove, NY 11542
31	80	14	Antonia Zoie Brenner Tru	12 Jodi Ct	Glen Cove, NY 11542
31	70	53 ,57	Epifania Rosario & Maria	27 Reynolds Rd	Glen Cove, NY 11542
31	81	1	Begonja Trust	36 Reynolds Rd	Glen Cove, NY 11542
31	81	12, 23	Portaro Guiseppe & Lina	49 New Woods Rd	Glen Cove, NY 11542
31	81	24	Behek Helen & Milan	34 Reynolds Rd	Glen Cove, NY 11542
31	81	3	Norales-Costas Aracely	32 Reynolds Rd	Glen Cove, NY 11542
31	81	8	Masiakos Jim M	22 Reynolds Rd	Glen Cove, NY 11542
31	81	14	Graziosi Angelo & Nicolina	4 Carlyle Dr	Glen Cove, NY 11542
31	81	15	Fakiris George Trust	6 Carlyle Dr	Glen Cove, NY 11542
31	81	18	Sgueglia Amendeo Dino	14 Carlyle Dr	Glen Cove, NY 11542
31	81	19	Sessions David & Laura	16 Carlyle Dr	Glen Cove, NY 11542
31	61	45	Scoyni Alfred J & Eva	15 Carlyle Dr	Glen Cove, NY 11542
31	61	46	Fahey Patrick & Diane	11 Carlyle Dr	Glen Cove, NY 11542
	61	47	Lee Norman & Zelda	9 Carlyle Dr	Gien Cove, NY 11542
31			Lee Herrian & Lend	3 carry ic Di	Gieli Cove, ivi 11542

1 Ellen Ct

Glen Cove, NY 11542

53-54 Chu Heting



#### CENERAL CONDITIONS OF THE WOOL

I- THESE NOTES SHALL APPLY TO THE GENERAL CONTRACTOR, EACH SUB CONTRACTOR AND THE CHNER'S CHIN FORCES EACH CONTRACTOR SHALL STUDY AND FAMILIARIZE HIMSELF WITH THE SITE AND NITH ALL TRADES AND ASPECTS OF THE WORK. EACH CONTRACTOR SHALL COOPERATE AND COORDINATE HIS WORK WITH THE WORK OF OTHER CONTRACTORS AND TPADES

- THE CONTRACTOR SHALL INSPECT THE SITE AND MAKE ALL APPROPRIATE INQUIRES TO DETERMINE CONDITIONS AND FIELD CONSTRUCTION CPITEPIA PRIOR TO SUBMISSION OF BIDS. AND SHALL MAKE NO ADDITIONAL CLAIMS REGARDING SITE CONDITIONS THEREAFTER. THE CONTRACTOR'S AND OWNER'S AGREEMENT TO ENTER INTO THE WORK SHALL SUFFICE AS THEIR ACCEPTANCE TO THE TEPMS SPECIFIED.

HEREIN, AND SHALL BE INCORPORATED INTO ANY AND ALL AGREENENTS BETWEEN THE OWNER AND THE CONTRACTOR
3- NOTHING ON THESE DRAWINGS SHALL BE CONSTRUED AS NODIFING IN ANY MAY THE CONTRACT BETWEEN THE OWNER AND CONTRACTOR OR THE CONTRACTOR AND SUB CONTRACTORS

R THE CONTRACTOR AND SUB-CONTRACTORS. - THE CONTRACTOR AND SUB-CONTRUCTION PHASE OF THE PROJECT WHICH MAY PROJURE ADDITIONAL MEASURES TO BE TAKEN ON THE PART OF THE CONTRACTOR SUB-CONTRACTORS OR TH PROJECT, PHICH THAT EXDURE ADDITIONAL MEASURES TO DE TAKEN ON THE PART OF THE CONTRACTOR, SUB-CONTRACTORS, OR THE ACRUITECT ANY AND ALL COSTS RELATED TO THE ADDITIONAL WORK SHALL BE THE SOLE RESPONSIBILITY OF THE COMER, INCLIDING THE ADDITIONAL SERVICES OF ANY CUTSIDE ACENCIES, INCLIDING BUT NOT LIMITED TO SURVEYING, PILES, EXTERNMENTED, BORNAS, UNDERFENNING, STE DRAINAGE, ADDITIONAL CONSULTATIONS, SITE VISTS, CERTIFICATION LETTERS, ATBIOTHETIS, AS DISTORDINGS, UNDERFENNING, STE DRAINAGE, ADDITIONAL CONSULTATIONS, SITE VISTS, CERTIFICATION LETTERS, ATBIOTHETIS, AS DISTORDINGS, ETC.

1- ALL EXISTING EQUIPMENT, UTILITIES, STRUCTURES AND OTHER ITEMS INTERFEPING WITH THE INSTALLATION OF THE PROPOSED EQUIPMENT AND STRUCTURES SHALL BE REMOVED AND REPLACED AND SHALL BE SUBJECT TO APPROVAL OF THE CAMER 2- THE CONTRACTOR SHALL DETERMINE AND/OR VERIFY THE ACTUAL LOCATION OF ANY AND ALL UTILITIES, PIPING AND RELATED ITEMS

PRIOR TO THE COMMENCEMENT OF WORK. ALL COSTS INCURRED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE GREED UPON BY THE OWNER. - ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS SHALL BE CONSIDERED CORRECT, BUT SHALL BE UNDERSTOOD THAT

HEY APE SUBJECT TO MODIFICATIONS AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET UNFORESEEN OF ant other conditions 4**- Do Not Scale Drawings** - Written Dimensions supepsede scaled Dimensions and are subject to revisions as per actual

4- DO NOT SCALE DRAWINGS. WHI THE DITEINENESS SOFFEED SCALED DITEINEND AND ARE SOURCE. TO MENSIONS AS PER ACTION.
FIELD CONDITIONS. THE CONTRACTOR SHALL VERRIFY ALL DITEINENDS AND CONDITIONS EXERTISED SHOWN, AND ALL DISCREPANCES APE TO BE
BROUGHT TO THE ARCHITECT'S PERFECT ATTENTION BEFORE COMPINIONS, WITH THE MORY.
FIR THE COMPRISE OF CONSTRUCTION A CONDITION BOSTS WHICH DISAGRESS WITH THAT AS INDICATED ON THESE PLANS, THE

CONTRACTOR SUALL STOR ALL LORK AND NOTIFY THE APPLIETCT SO AS TO ALL PLANT SUID CONFLICT WITHOUT RIPPIEN TO THE OWNER HOW DIFF FAIL TO FOLLOW THIS PROCEDUPE AND CONTINUE WITH THE WORK. HE SHALL ASSUME ALL RESPONSIBILITY AND LIABILITY

THE CONTEACTOR SHALL CHECK AND VERIEY LOCATION OF ANY EXISTING OVERHEAD OR LINDERGROUND ELECTRICAL OR OTHER HAZARDOUS

- THE CONTRACTOR SHALL CHECK AND VERIFY LOCATION OF ANY EXISTING OVERHEAD OR UNDERGROUND ELECTRICAL OR OTHER HAZARDOUS TILLTY LINES AND TO APPRIANE FOR THEIR SAFE PELOCATION
- THE CONTRACTOR SHALL BE HELD TO HAVE VERIFIED DITHENSIONS AND CONDITIONS AT THE BUILDING. NO LATER CLAIMS WILL BE ONSIDERED FOR LABOR, EQUIPHENT OR MATERIALS REQUIRED OR FOR DIFFICULTIES ENCOUNTERED BECAUSE OF LACK OF INFORMATION, LACK FOR THE STEEN REPORT OF THE ORDS INVOLVED.
- CONTRACTOR MUST VERIFY WITH HIS LICENSED ELECTRICIAN IF AN UPGRADE OF ELECTRICAL SERVICE IS REQUIRED FOR THIS PROJECT

ON TO SUBTRITING A DID. CONTRACTOR TO VERIEV LOCATIONS OF MASTS, METERS, SUBJPANELS, ETC. FOR RELOCATION AS REQUIRED FOR THE PROJECT. CONTRACTOR MUST ALSO NOTIFY THE ARCHITECT OF LOCATIONS IF NOT SHOWN ON PLAN

### CONTRACTOR'S RESPONSIBILITIES FOR COORDINATION AND WORKMANSHIP

I- THE CONTRACTOR SHALL COORDINATE SCHEDUING OF SUB-CONTRACTORS AND OTHER CONTRACTS AND SHALL PROVIDE EVERY POSSIBLE COOPERATIVE EFFORT TO COORDINATE COMPLETION OF ALL WORK. THE GENERAL CONTRACTOR SHALL COMPRETE A COMPREHENSIVE SCHEDULE FOR ALL WORK PERTAINING TO ALL CONTRACTS AND SHALL SUBMIT THE SAME TO THE OWNER WE ACCEPTABLE FORMAT FOR REVIEW WELL IN ADVANCE OF WORK COMMENCEMENT

EVIEW MELL IN ADVANCE OF MORE CONTINUENTENT. • THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE OWNER TO MINIMIZE INTERRUPTIONS TO NORMAL DWINEP.

TELEFICIONS - EACH CONTRACTOR SHALL BE PESPONSIBLE FOR CUTTING, FITTING AND PATCHING OF HIS WORK THAT MAY BE REQUIRED TO COMPLETE 3- DALE CONTRACT ON CONTRACTOR SHALL ENDACED IN THIS MAD PALLEMAS OF HIS MAKE THAT THAT DE REGIONED TO CONTRACT. ON CONTRACTOR SHALL ENDACED HAVE NORS OF ANY OTHER CONTRACT ON FOR PERSONALITY OF ANY OTHER CONTRACTORS WORK, AND NO CONTRACTOR SHALL DO SO INTHACT THE PERSONALITY OF MAY OTHER CONTRACTORS WORK, AND NO CONTRACTOR SHALL DO SO INTHACT THE PERSONALITY OF ANY OTHER CONTRACTORS WORK OF ANY OTHER CONTRACTORS WORK OF THE PARTY ETPERSONALITY OF THE COMPARY ON THE CONTRACTOR OF THE PARTY ETPERSONALITY OF THE CONTRACTOR OF THE PARTY OF THE PART BE DOLL TWO HE WORK OF OTHER CONTEXCIONS SHALL INSTALL OF MOVIDE THESE TIETS TO ME APPROXIMATE CANAFACTOR WHO WILL SET THESE TO WORK IN THE LOCATIONS ESTALLIBLED BY THE CONTEXTOR FUND RECORDED THESE THESE THESE SHALL BE PROVIDED AND THEIR LOCATIONS COOPDINATED SUFFICIENTLY IN ADVANCE, SO AS NOT TO ELEVAT THE PROGRESS OF A LOB AS A MINUTE. ALL SUCH TERS SHALL BE MORPORATED SO THEY HILL HEET THE CORRECT PHYSICAL ELEVATIONS OF FLOREST. HALL BE SECURED INTO THE FRAMEWORK FOR CONCRETE SO AS TO MAINTAIN THEIR PROPER LOCATION AND POSITION DUPING THE PLACING OF CONCRETE AND REMOVAL OF FORMWORK

CONCRETE AND REPOVAL OF FORTIMORY.
THE CONTRACTORS SHALL MAKE TIMELY SUBMISSIONS TO THE OWNER OF THE VARIOUS ITEMS SET FORTH SO AS TO ALLOW PEASONABLE.

5- THE CONTRACTORS SHALL TRACE LITELT SUBTISSIONS TO THE CARRIER OF THE VARIOUS TIETD SET FOR IT SO AS TO ALLOW PERSAMBLE AND ADSCRIPT FITTER FOR REVIEW, POSSIBLE CORRECTION, POSSIBLE SEGREGISTIS, AND FOR APPROACH, OF SUBTISSIONS MITHOUT DELATING. THE PROCRESS OF THE BRITILE PROJECT OF THE PROJECT.

6- ANY INTERFALS OF MORNISHMEN FOUND AT THE TIET OF DE PEFCTIVE SHALL BE REFIELDED AT ONCE, REGARDLESS OF PREVIOUS INSPECTION. THE INSPECTION OF THE MORN IS INTERIOR TO AND IN ACCORDANCE MITH THE SEPCRICATIONS, BUT SUCH INSPECTIONS AND LATE CONTRACTOR TO RELEASE THE CONTRACTOR REVIEW OF HIS ONTRACTION ORLIGATIONS

CONTRACTOR DELIGIATION S C. ALL NEW MATERIALS AND INSTALLATIONS SHALL RE IN ACCORDANCE WITH MEG. LATEST PRINTED SPECIEVATIONS AND WITH ALL overning code regulartients - All materials shall be new, as called for in **the dra**wings, and the best of their respective kinds — the contractor

MITHOUT MRITTEN APPROVAL OF THE ARCHITECT SHALL MAKE NO SUBSTITUTIONS FOR PORTIONS OF THE WORK NOT SHOWN IN DETAIL BUT WHICH ARE SHOWN GENERALLY, OR FOR REASONABLE INFERABLE AS BEING REQUIRED FOR A PROPER AND COMPLETE INSTALLATION, THE MATERIAL, METHODS, AND WORKMANSHIP SHALL CONFORM, AS A MINIMUM, TO THE TYPICAL OR REPRESENTATIVE DETAIL THROUGHOUT THE ORRESPONDING PARTS OF THE BUILDING

CORRESPONDING PARTS OF THE BUILDING.

HO MATERIALS OF ANY KIND SHALL BE USED UPON THE HORK UNTIL IT HAS BEEN INSPECTED AND ACCEPTED BY THE OWNER. ALL MATERIALS PEJECTED SHALL BE INTEDIATELY REMOVED PROFITHE HORK AND NOT AGAIN OFFERED FOR INSPECTION.

OF ALL NORK SHALL BE DESCRIFED IN A MORSHAMLIKE HAMBRE AND ALL HECHAINGS SHALL BE SKILLED IN THEIR TRADE.

II TIETS SHOWN ON PLANS BUT NOT SPECIFICALITY STATED IN THE SPECIFICATIONS AND/OR VICE VERSA SHALL BE CONSIDERED TO BE

INCLUDED IN THE CONTRACT

### CODE COMPLIANCE

ALL CONTRACTORS AND SUB-CONTRACTORS SHALL BUILD IN COMPLIANCE WITH ANY AND ALL APPLICABLE 2015 LR C I- ALL CONTRACTORS AND SIB-CONTRACTORS SHALL BUILD IN COMPLIANCE WITH ANY AND ALL APPLICABLE 2015 IR C
CODES AS WELL AS THE REQUIREMENTS OF LOCAL AGENCIES. THESE RESPONSIBILITIES INCLIDE BUT ARE NOT LIMITED TO MATERIALS,
EQUIPMENT, APPLICATIONS / INSTALLATIONS, THE PROPER SEQUIREC OF TRACES AND PHASES OF CONSTRUCTION, FLUNG PROCEDURES, AND
GENERAL ACCEPTABLE BUILDING PRACTICES OUTLINED BY THESE CODES THESE REQUIREMENTS SHALL PERTAIN TO THE PROPERTY
ADDRESSED HEREIN AS HELL AS ANY INGERIGENINE, PROPERTIES THAT THAY BE AFFECTED BY 11% ALTERIATION BE OF THIS OFFICE
MOTES AND SPECIFICATIONS SHANN HEREIN, HAICH MAKE REFERENCE TO SAID RESPONSIBILITIES, ARE RECOMMENDATIONS OF THIS OFFICE
AND ARE SUBLICET TO CHANCE AS PER ANY GOAVERNINE AGENCIES AND REPRESENTATION DESCREAMINGS HIM AY ARISE
BETHER! THESE DRAININGS AND SAID REQUIREMENTS SHALL BE BROUGHT TO THE ARCHITECT'S/REPRES /REPRES ATTENTION BEFORE
THE CONTINUENCE HAIT OF MORK IN QUESTION

2- EACH CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE FIRE CODE OF NEW YORK STATE, NEW YORK STATE ENERGY
CONSEPVATION CODE, REDERAL OS HA, AND ALL OF THE LOCAL GOVERNMENT AGENCIES HAVING JURISDICTION, INSOFAR AS APPLICABLE
TO HIS PROTECTION OF THE WORK.

TO HIS PORTION OF THE WORK.

3. NO NOTE OP DETAIL OR LACK THEREOF SHALL BE CONSTRUED AS RELIEVING THE CONTRACTOR FROM AN EXECUTION OF ALL WORK IN ACCORDANCE HITH ALL STATE AND LOCAL CODES.

### PERMITS INSPECTIONS AND APPROVALS

INNESS OTHERWISE AGEPTO JEON BETWEEN THE ARCHITECT AND THE OWNER, THE OWNER SHALL PAY FOR AND THE CONTRACTOR SHALL OBTAIN A BUILDING PERMIT FROM THE VILLAGE, TOWNSHIP OR GOVERNING MUNICIPALITY PRIOR TO STARTING ANY WORK 2- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED APPROVALS, PERMITS, CERTIFICATES OF OCCUPANCY, INSPECTION APPROVALS, ETC FOR

2- THE CONTRACTOR SHALL GETAIN ALL REQUIRED APPROVALS, PERHITS, CERTIFICATES OF OCCUPANCY, INSPECTION APPROVALS, ETC FUNKER, PERFORDED FROM AGAINED HAVING, LIBEROTUCTION THEREOF

3- THE CONTRACTOR SHALL HAVE A COMPETENT REPRESENTATIVE OR FOREMAN PRESENT, AND SHALL FOLLOW WITHOUT DELAY ALL
INSTRUCTIONS OF THE OWNER OR HISAER ASSISTANTS IN THE PROSECUTION AND CONFLICTION OF THE MORE IN COMPETITY WITH THIS
CONTRACT, AND SHALL HAVE FULL AUTHORITY TO SUPPLY LABOR AND THATERIALS HIPEROSTELY THE CONTRACTOR SHALL ALTSO HAVE A
COMPETENT REPRESENTATIVE AVAILABLE TO RECEIVE TELEPHONE MESSAGES AND PROVIDE A REASONABLE REPLY AS 500N AS POSSIBLE,
BUT AND LATER THAN 30 AND PARKED.

I LAILE HAN 24 KUANS CONTRACTOR SHALL, AT ALL TIMES, PROVIDE CONSTANT AND EAST ACCESS AND SAFE PROPER FACILIEES FOR THE INSPECTION PARTS OF THE MORK CONTRACTOR SHALL POST THE PERMIT ON THE JOB SITE AS PER BUILDING CODE REQUIREMENTS IN AN CONSPICUOUS PLACE

5- BEFORE ANY PAYMENT WILL BE MADE BY THE OWNER, THE CONTRACTOR SHALL DELIVER TO THE OWNER ANY MAIVER OR RELEASES OF

ANY LIBBS ARISING OUT OF HIS CONTRACT FOR WORK COMPLETED AS OF THE DATE OF THE REQUEST FOR PAYMENT

- THE CONTRACTOR SHALL ALSO FIRMSHE YUDDING SATIFACTORY TO THE OWNER THAT ALL PATRICLS, BILLS FOR LABOR, MATERNALS

AND EQUIPMENT, AND OTHER INDEPTIONESS CONNECTED WITH HIS MORKE FOR HAILOT HE OWNER OF HE PROPERTY FINISH IN ANY MAY BE. RESPONSIBLE. HAVE BEEN PAID OR OTHERWISE SATISFIED

### INSUPANCE AND WARPANTIES

HAVING COVERAGE FOR THE TYPES OF WORK SPECIFIED WITHIN THIS BID PACKAGE IN THE AMOUNTS AND PERIODS SATISFACTOR! TO THE OWNER. THE PROOF OF INSURANCE SHALL BE AS FOLLOWS. COMMERCIAL GENERAL LIABULITY, CONTRACTIVAL PERSONAL INJURY, AUTOMOBILE LIABULITY, INDUCAL PAYMENTS AND UMBRELLA LIABULITY. FAILURE TO SUBMIT CERTIFICATE OF WENRANCE MAY CAUSE YOUR BID TO BE DISSUALIFIED.

### PLUMBING NOTES

TALL PLUMBING MORK SHALL BE IN STRICT CONFORMANCE HITH ALL STATE AND LOCAL CODES.
AND MATER HEARTES SHALL HAVE A HAMMIN TEMPERATURE SETTING OF HAD DEGREES F.
B PROVIDE HOT AND COLD MATER SHAPPI LIBES TO A HONE RETRIGERED FOR BEGGINGED BY HAMMFACTURES SPECIFICATIONS.
B PROVIDE HOT AND COLD MATER SHIPPI LIBES TO A HONE RETRIGERED FOR BEGGINGED BY HAMMFACTURES SPECIFICATIONS.

PROVIDE NOT AND COLD MATER SUPPLY LINES TO A NEW REFINERATIOR MY BEGINNED BY THANIFACTURED SPECIALISMON
PROVIDE INSULATION OF ALL NEW PHYRE AS PECUATED BY CODE
REPOVE AND RELOCATE ALL DUSTING PHYRE AS EXCURED TO ASSURE THE PROPER EMECUTION OF THE MORK
BELOG AGRANDA MORTE LINES SHALL BE THE YEL! FIPING
POTABLE LINES SHALL BE THE "L"! COPPER
THE FUITHBIS CONTRACTOR SHALL PERFORM ALL BEGINNED AGE OF OR PIPING AND CONTENCEMENT OF ANY MORK
SANITARY DISPOSAL SYSTEM SHALL BE COUNTY DEPARTMENT OF HALTM SERVICES APPROVED FOR DESIGN AND INSTALLATION THE CHAPTER SHALL BE RESPONSIBLE FOR DESIGN LOCATIONS OF THE FACILITIES AS HELL AS OBTAINING ALL
OWNERS AS ASSOCIATION SHALL BE COUNTY DEPARTMENT OF HALTM SERVICES APPROVED FOR DESIGN AND INSTALLATION THE CHAPTER SHAPLED BY SHALL BE RESPONSIBLE FOR DESIGN LOCATIONS OF THE FACILITIES AS HELL AS OBTAINING ALL
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OWNERS AS ASSOCIATION SHAPL BY SHAPL AS OBTAINING ALL
OWNERS ASSOCIATED SHAPL BY SHAPL BY

NATER MAIN MUST BE 7'0' AWAY FROM THE SANITARY DISPOSAL SYSTEM AND 4'-0' DEEP 12 IN BEARING WALLS OP PAPTITIONS, NO STUD IS TO BE CUT MORE THAN MY 17'S DEPTH TO RECEIVE PIPING, DUCT OR ELECTRICAL WORK

ALL WORK LET UNDER THESE DPAWINGS SHALL BE GUAPANTEED AGAINST DEFECTS IN HATERIAL AND WORKMANSHIP FOR A PEPIOD OF ONE (1) YEAP FROM THE DATE OF THE ACCEPTANCE OF THE CAMER GRANTING A CERTIFICATE OF OCCUPANCY, OR THE CAMER'S USE OF THE PREMISES SHALL NOT CONSTITUTE ACCEPTANCE OF THE ACPK.

THE CONTRACTOR SHALL ALSO DELIVER ALL PANAFACTURES HARRANTIES, QUARANTEES, OPERATIONAL AND MAINTENANCE MANUALS.

7EKTAINING TO HIS MOKK. 7. EACH CONTRACTOR SHALL ALSO DELIVER TO THE OWNER WPITTEN GUAPANTEE IN FOPM AND WHOSE TEPMS AND EXTENT WILL BE ESTABLISHED IN THE AGREEMENTS BETWEEN EACH CONTRACTOR AND THE OWNER

ARCHITECTS SERVICES DURING CONSTRUCTION

1- THE APCHITECT SHALL NOT BE RESPONSIBLE FOR THE PERFORMANCE OF THE GENERAL CONTRACTORS UP ANY SUB-CONTRACTORS NOW SHALL HE QUIPATITE THE PERFORMANCE OF THEIR CONTRACTS. THE COLLIGATION OF THE CONTRACTOR SHALL NOT EXTEND TO THE LIABILITY OF THE ARCHITECT, HIS AGENTS OR EPHLOYEES.

2. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR, NOR HAS CONTROL OR CHARGE OF CONSTRUCTION HEAVE, SCOURICES, OR

PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DATAGE, BREAKAGE, COLLAPSE, ENSTORTION AND MISALIGNMENT ACCORDING TO

IFFLIVABLE COJES - THE ARCHITECT HAS NOT BEEN RETAINED ON THIS PROJECT FOR BIDDING AND/OR THE REGISTRATION AND ADMINISTRATION OF THE

5- THE ARCHITECT HAS NOT BEEN RETAINED ON THIS PROJECT FOR BIDDING AND/OR THE MEGITATION AND AUTHINISTRATION OF THE CONTRACTS FOR CONSTRUCTION OF THIS PROJECT.

4- THE ARCHITECT IS NOT RETAINED FOR SITE INSPECTIONS AND/OR OBSERVATION OF THE CONSTRUCTION OF THE DRAWINGS OR NOTATION, OR REQUEST FORM ANY PARTY FOR INFORMANCE REGARDING CLASSIFICATION APPLIFICATION OR EXPLANATION OF THE DRAWINGS OR NOTATIONS, WILL DESTRUCT HE PROVIDED THE REQUIRETINTS OF THESE DRAWINGS OR NOTATIONS, WILL DETERTAINED BY THE ARCHITECT, UNLESS THEY ARE SET FORTH IN MARPING AND ADOPESSED TO THE OWNER. SET FOR OWNER THE THE ARCHITECT HILL WITH REASONABLE PROPRIESSED TO THE OWNER SET THE AND RESPOND IN WHITTAK TO THE ARCHITECT HILL WITH REASONABLE PROPRIESS. CONSIDER THE NATHER AND RESPOND IN WHITTAK TO THE PARTY CONCEINED THE ARCHITECTREPHES DOS SOT, NOW WILL ASSUME, ANY RESPONSIBILITY WITH REGARD TO THE ARCHITECTURED.

TEMPORARY PROTECTION AND STRUCTURES TO THE CONTRACTOR SHALL BE RESPONSIBLE FOR TELECOPIC, WATER, TOLET FACILITIES, FENCING, BARRICADES, SECURITY, AND CLEAN UP AS ACREED UPON RETHERD THE CONTRACTOR SHALL BROOM

CLEAN ALL AFFECTEU AREAS AND CART AWAY ALL DEBRIS R- THE CONTRACTOR SHALL CONDUCT ALL WORK TO PRECLUDE THE EFFECTS OF WEATHER ON COMPLETED WORK, OR WORK IN PROGPESS THE CONTRACTOR SHADA ASSUME ALL RESPONSIBILITY AND EXPENSE OF TEMPORARY ENCLOSURES WHERE NECESSARY DUST PARTITION ARE TO BE PROMISED BETWEEN WORK AREAS AND THE REST OF THE BUILDING

RE 10 BE PROPRIED BETWEEN MORK AREAS AND THE REST OF THE BUILDING. - EACH-CENTRACTOR SHALL BE RESPONSIBLE FOR ALL LOSS OP DAMAGE ARISING FROM THE ACTION OF THE ELEMENTS SUCH AS WATER. HEAT, MHED OR OTHER DAIFCRESEEN DIFFEGULTIES THAT THAY BE ENCOUNTERED IN PERFOPHING THE WORK TO BE DONE UNDER HIS CONTRACT IN THE EVENT OF ANY SUSPENSION OF WORKS, EACH CONTRACTOR OR SUB-CONTRACTOR SHALL PROTECT HIS WORK AND MATERIALS AGAINST DAMAGE OR LOSS. ANY MORE OR MATERIALS THAT HAVE BEEN DAMAGED/DESTROYED OR LOST BECAUSE OF FAILURE OF ANY CONTRACTOR O

DAMMAG OK LOSS AN ROME OR THAI ERRALS HAM, HAVE BEEN DAMMAGEDLESHOLD OF LOST BELLODE OF TRAILER OF ANY CONTRACTOR.
SIDE-CONTRACTOR TO SO PROTECT HIS WORK OR THEREBRAIS SHALL BE PROPIETLY REPOVED AND VERHALED BY THE CONTRACTOR.
A. THE GENTRACTOR SHALL CONDUCT ALL MORK IN SUCH A HANNER SO TO NOT HIPPAIR THE STRUCTURAL INTERPITY OR STRAILING
APPLICATION THE PROPING OF THE STRUCTURE, BEAUGHAMPH, OR UTILITIES SHOULD DAMMAGED TIEVES TO SHOULD HAVE AND AT THE CONTRACTOR SHALL REPAIR
OR REPLACE SAID DAMMAGED HEMS TO THE SATISFACTION OF THE OWNER, AND AT THE CONTRACTOR SHOULD HAVE AND ANY THE CONTRACTOR SHALL BEAR ANY ARRY ALL COSTS ASSOCIATED WITH MORE DISCONTINUATION, BEGINEERING CONSULTATION, INTERNIAL TESTING, REPAIR AND ALL

THE CONTRACTOR SHALL BRACE SHORE RENEORCE AND/OR INDERPIN ALL STRUCTURES INCLUDING NEIGHBORING STRUCTURES AS

OUNKED TOK DATE GFERATION. THE CONTRACTOR IS TO TAKE ALL NECESSARY AND PRINDENT STEPS TO SHORE AND BRACE EXISTING STRICTURES PRIOR TO INSTALLATION ## HEADERS FOR NEW OPENINGS. THE PROPER AND SAFE EXECUTION OF THIS HORK IS THE SOLE RESPONSIBILITY OF THE

ONTRACTOR '- FOURMENT AND DEVICES OF A TEMPORARY NATURE REQUIRED FOR THE CONSTRUCTION PROCESS AND PROTECTION THEREOF SUCH AS SCAFFOLDS, STAGING, PLATFORMS, RUNNAYS, HOISTS, LADDERS, CHUTES, TEMPORARY FLOORING, GUARDS, RAILINGS, SHAFT WAY PROTECTIONS, ETC., FOR THE PROTECTION OF MORKHEN AND TO THE PUBLIC SHALL BE PROVIDED. ERECTED, AND MAINTAINED IN ACCORDANCE WITH THE PEQUIREMENTS OF ALL NEW YORK STATE CODES, AND ALL OTHER LAMS, RULES, OR ORDINANCES OF ALL SOVERNMENTAL AGENCIES HAVING JURISDICTION DURING CONSTRUCTION

JOVERNIENTAL AGENCIES HAVINS JURISDICTION DURING CONSTRUCTION 3- THE CONTRACTOR SHALL PROVIDE, ERECT, MAINTAIN THOSE ITEMS REQUIRED FOR USE, OBTAINING ALL NECESSAPY PERMITS, INSPECTIONS AND APPROVALS. AND REMOVE THOSE ITEMS WHICH HAVE SERVED THEIR RUPPOSE AND WHEN DUPPCTED BY THE OWNER, UNLESS OTHERWISE STIPULATED BY THE CHINER

#### DEMOLITION NOTES

THE CONTRACTOR SHALL ASCERTAIN THAT THE AREA OF DEMOLITION HAS BEEN CLEARED OF ALL FURNITUPE AND MOVABLE EQUIPMENT IN I THE CONTROLLOR STALL ASSENTIAL THAT THE AREA OF DEFOLITION HAS SEEN CLEARED OF ALL FURNITURE AND TOWARD EDUNITURE CORDER TO ALLOW FOR DEPOLITION TO PROCEED THE CONTRACTOR SHALL KOTHET THE CONNER INTERDIATEL OF ANY SUCH CONDITIONS PEPEZPITHIC HIS PROCEEDING WITH THE DEPOLITION

2. ALL ELECTRICAL HIGH OR LOW OUTLAGE CONDITION, WIRES, INSTRUMENTS AND EQUIPMENT ADJACENT TO OR CONTAINED WITHIN PARTITIONS TO BE REHOVED BACK TO THE NEXT PANEL BOARD AND SUITDOWN NO CIRCUITS, WIRES OR EQUIPMENT SHALL REHIAM OF

r live - Demolition includes complete removal and disposal of all Items from site. Except Items designated to be removed and RETURNED TO THE CHNER FOR REJUSE. MATERIALS OR ITEMS SUCH AS DOORS AND FRAMES, GLASS AND LIGHTING FIXTURES DESIGNATED ON DRAWINGS TO REMAIN THE PROPERTY OF THE CHNER SHALL BE REMOVED WITH CARE AND STORED IN A LOCATION ON THE SITE TO BE

ULDIGNATED DI THE DANKEK AL CONTRACTOR GUALL ORTANA ALL REPHITS FOR ALL WORK INCLINING REPHITS FOR TRANSPORTING AND DISPOSAL OF DERRIS AND THERS AS REQUIRED BY AUTHORITIES HAVING JURISDICTION INCLUDING ANY HAZARDOUS INTERNALS THAT BE DISCOVERED

- CONTRACTOR IS REQUIRED TO NOTIFY CAMBES OF ANY AND ALL REQUIRED UTILITY SHUTDOWNS WITHIN THREE DAYS PRIOR TO TIME

DE SHUTEOMRI ACTOR GLIATT PROVIDE AND MAINTAIN ALT NECESSARY SAFEGUARDS SUCH AS GUARDRAILS, BARRICADES, COVERING, ETC., TO

4- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL NECESSARY SAFEGUARDS SUCH AS GUARDRAILS, BARRICADES, COVERING, ETC., TO PROTECT THE MORKHAM AND PLEIL FORM ANY FORM OF BOOK! THAIR?
7- FROVIDE AND HAINTAIN NECESSARY COVERNES AND BOARDING TO PROTECT EVISTING MORK AND FINISHES TO RETAIN UPON COPIECTION, RED'OK ALL PROTECTION AND CLEAN AND CLEAN AND CLEAN AND CLEAN AND CLEAN AND CLEAN, ROPERLY CONDITION DUST SHALL BE KEPT AT A HINNING HAINTEN CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DATIAGE CAUSED BY INTROPER PROTECTION AND SHALL HAVE ALL REPAIRS WITHOUT COST TO THE CONNER.
9- ALL PEROVALS SHALL BE NEATLY AND SAFELY DOME, CAUSING NO DATAGE TO WORK TO RETAIN DEBISH SHOT DUBBISH SHALL NOT BE ALLORED TO ACCUPILIZATE AND SHALL BE PROTECTIVE DISPOSED OF LEGALIY
10- HAINTAIN EXISTING UTILITIES INDICATED TO REMAIN, KEEP IN SERVICE AND PROTECT AGAINST DATAGE DURING OPERATIONS

### EXCAVATIONS AND SUBSURFACE SOIL CONDITIONS

- CONTRACTOR SHALL STRIP ALL TOPSOIL FROM EFFECTED AREAS OF THE SITE AND SAVE FOR PEDISTRIBUTION. THE CONTRACTOR SHALL FIRE THE REPOVE ALL EXCESS EARTH FROM THE SITE.

HEN REMOVE ALL EXCESS EARTH FROM THE SITE. PRIOR TO EXCAVATION THE CONTRACTOR SHALL VERIFY THE WACATHONS OF ALL BELOW GRADE UTILITIES, WATER AND SEWINGE LINES. DRYWELLS, SEPTIC SYSTEMS, AND ANY OTHER FACILITIES 3- ALL EXISTING FILL, ROOTS AND OTHER UNSULTABLE BEARING MATERIAL SHALL BE REMOVED AND FOOTINGS CARRIED TO THE BOTTOM OF

DOM EXCAVATION 1- ALL FOOTINGS SHALL BEAR ON VIRGIN SONL HAVING A MINIMUM BEARING CAPACITY OF TWO (2) TONS PER SOUARE FOOT CONTRACTOR TO 4- ALL POUNGS SHALL BEAK ON VIRGIN SOM HAVBE A FIRMIND BEAKING LAPALITY OF TWO (2) TONS FER SOURCE FOOL CONTRACTOR TO VERETY ASSUMED SOIL-BEARING APACTITY AND SHALL ASSUME FUR REPONSIBILITY FOR SHIPE EGAINATION TO NOTHE ARCHITECT OF ANY SOIL VARIATION OR CONDITION APPECIFY AFFECTING ASSUMED BEARING CAPACITY FROM THE POUNT OF THE - ALL EXTERIOR FOOTINGS SHALL \$6 A MINIMUM OF 3'-0" BELON GRADE UNLESS NOTED OTHERNISE IN PLANS

### CONCRETE & FORNIBATION NOTES

- PERFORM REQUIRED ALTERATIONS TO EXISTING CONCRETE - NEW WORK INSTALLED ADJACENT TO AND CONNECTING WITH PRESENT WORK THIOL NOIGNEAUS BETWEEN HE PROVIDE BELIEVED THE STANDING BUTTELS ON HE NEED BETWEEN BETWEEN BETWEEN LIAH

SHALL THANKE LIDITIES JUNITY DETINED ROTH AND LADITIES THAN THE CLEAR DISTANCE BETWEEN ADJACENT BOTTOM EDGES SHALL NOT 
AS REQUIRED.

2. PROPINGS AT DIFFERENT LEVELS SHALL BE STREPPED SO THAT THE CLEAR DISTANCE BETWEEN ADJACENT BOTTOM EDGES SHALL NOT 
SECRETARY SLOPE OF ONE VERTICAL TO TWO HORIZONAL OR DEFENDENT UPON LOCAL GOVERNING CODES, MICHEVER IS PREVALENT 
3. CONCRETE FOUNDATIONS SHALL BE POORED CONTRIVABLY. IF POUR IS INTERRIPTED A VERTICAL KEY SHALL BE PROVIDED 
BERREONTAL JOINTS ARE NOT PERMITTED 
4. PROVINCENT SHALL VERIFY DETRIBUTIONS AND LOCATIONS OF SLOTS, PIPE SLEEVES, INSERTS, ANCHOR BOLTS, ELECTRIC CONDUITS, ETC 
AS REQUIRED FOR TRADES BEFORE MAGING CONCRETE 
5. A CONCRETE BLOCK FOUNDATION MALL SHALL BE ACCEPTED IN LIEU OF POURED CONCRETE WHERE PERMITTED BY LOCAL CODES 
5. A CONCRETE BLOCK FOUNDATION MALL SHALL BE ACCEPTED IN LIEU OF POURED CONCRETE WHERE PERMITTED BY LOCAL CODES 
5. A CONCRETE BLOCK FOUNDATION MALL SHALL BE ACCEPTED IN LIEU OF POURED. CONCRETE WHERE PERMITTED BY LOCAL CODES 
5. A CONCRETE BLOCK FOUNDATION MALL SHALL BE ACCEPTED IN LIEU OF POURED. CONCRETE WHERE PERMITTED BY LOCAL CODES 
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5. A CONCRETE BLOCK FOUNDATION MALL SHALL BE ACCEPTED IN LIEU OF POURED. CONCRETE WHERE PERMITTED BY LOCAL CODES 
5. A CONCRETE BLOCK FOUNDATION OF STATEMENT AND CELLARS, ANCHOR BOUTS SHALL BE 5.00 DA WITH HINNIUM EMBEDDIFIEDT OF 10° FOR MASONRY 
5. THE PERMITTED BY LOCAL FOUNDATION OF STATEMENT AND CELLARS, ANCHOR BOUTS SHALL BE 5.0° DA WITH HINNIUM EMBEDDIFIEDT OF 10° FOR MASONRY 

5. THE PERMITTED SHALL BE SHALL BE SHALL BE 5.0° DA WITH HINNIUM EMBEDDIFIEDT OF 10° FOR MASONRY 

5. THE PERMITTED SHALL BE SHALL BE SHALL BE 5.0° DA WITH HINNIUM EMBEDDIFIEDT OF 10° FOR MASONRY 

5. THE PERMITTED SHALL BE SHALL BE SHALL BE 5. THE SHALL BE SHALL BE 5. THE SHALL BE SHALL BE S

5- A CONCRETE BLOCK FOUNDATION WALK SHALL BE ACCEPTED IN LIEU OF POWED CONCRETE WHERE PERMITTED BY LOCAL CODES

FOR CRANL SPACES, BASENINES AND CELLAGE, ANKING BOILS SHALL BE 5.0° DAW WITH INNIVINE IPREDIDENTS IN FOR PRAGNER

HALLS AND I'F FOR POWERD CORCRETE WALLS THERE SHALL BE A HINNIVIN OF TWO BOLTS PER SHL, MAX ONE FOOT FROM CORNERS AND

FROM BIDS CANDITIONS, AND SPACED THEREAFTER A MAX 48' OC FOR SHALLE STORY STRUCTURES AND 3'-0' OC FOR THE STORY STRUCTURES WITH FROM SHOPE SHALL TO OR

GREATER THAN I'X SHALL BE CONSIDERED THREE STORY STRUCTURES WITH FROM SHOPE SHALL BOY

FOR SLASS ON GRADE AND LOCATIONS WHERE THE EXTERIOR HALL PLATE BEARS DIRECTLY ON THE FOUNDATION WALL, ANCHOR BOLTS

SHALL BE 5.06' DIA WITH INNIVINE PREDIPIENT OF 18' THERE SHALL BE A INNIVINE OF TWO BOLTS PER SILL, MAX ONE FOOT FROM

CORNERS AND O' FROM SHOP CONDITIONS, AND SPACED THEREAFTER A MAX 3' O'.

B- PROVIDE CONTINUOUS HETAL TERRITE SHELD WITH ALL JOINTS SEALED ALONG PERIMETER MALLS AND SHELDED TERMITE COLLARS AT

PHYRIPMS PIERS IN CRAML SPACES IN MESS OTHERS IN SERVINE SHE ONE OF THE SHELD WITH ALL JOINTS SEALED ALONG PERIMETER MALLS AND SHELDED TERMITE COLLARS AT

PHYRIPMS PIERS IN CRAML SPACES IN MESS OTHERS HE PROPRIES ONE

PLOMBING PIPES IN CRANL SPACES UNLESS OTHERWISE NOTED 9- MINIMUM COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS TO BE AS FOLLOWS

A) FOOTINGS, PIERS, FOUNDATION WALLS F'C = 3,500 PS | STONE CONCRETE

B) SLAB ON GROUND F'C = 2,500 P S | CONCRETE C) SUPERSTRUCTURE, SLAB F'C = 3,500 P S | CONCRETE

D) 3500 P.S.I., MIN COMPRESSIVE STRENGTH OF CONCRETE FOR GARAGE SLAB F) CONCPETE TO BE 5. TO 7% AIR-ENTRAINED, PER R. 402.2 OF RONG IO- ANTI-HYDRO SHALL BE ADDED IF POURING TAKES PLACE AT 32 DEGREES F OR LESS

#### SITE WORK, GRADING AND LANDSCAPING

SITE WORK, GRADING, AND LANDSCAPING

I-CONTPACTOR SHALL FRONT EFFECTED AREAS OF THE SITE AND REDISTRIBUTE ALL TOPSOIL UPON COMPLETION OF THE WORK, PROVIDING
FOR FINISHED GRADING AND RESPECTING OF THE LAWN AS DIRECTED BY THE OWNER IS OF SUFFICIENT STRENGTH AND UNTIL THE WALLS
2- BACFFILL SHALL NOT BE FLACED FOR AND BOTTON BY THE HORIZONTAL FLOOK OF BY ADDOLATE TEMPORARY EPACHNG.
3- GRADING AROSHID ALL NEW CONSTRUCTION SHALL SLOPE ANAY FROM THE FOUNDATION HALL AND SHALL BLIDD INTO EXISTING GRADES
4-ALL SITE DESIGN REQUIDING FOOGRAPHY, STORM DRAINAGE, SPECIAL PAVING, LANDSCAPING, ETC SHALL BE PROVIDED BY OTHERS
UNLESS SPECIFIED HERBIN
5- CONTRACTOR SHALL PROVIDE FOR ALL DRIVENAY MODIFICATIONS AS REQUIRED ALLOWING FOR ACCESS TO AND FROM THE SITE ALL NEW
LURBES, CUPB EATS AND PAVING MUST COPPLY WITH ALL REQUIREMENTS FOR THE GOVERNING MUNICIPALITY 4 2015 IR C.

DOOR AND WINDOW NOTES AEL NEW WINDOWS SHALL BE PERMA-SHIELD FINISH IN WHITE AS MANUFACTURED BY ANDERSON OR APPROVED EQUAL - FURNISHED WITH

INCOME SECURITION OF SHARED IN THE STATE OF THE STATE OF

- ALL WINDOWS & DOORS WITH GLAZING 18" OR BELOW ABOVE FINISHED FLOOR (A F.F.) SHALL BE OPDERED WITH TEMPERED GLASS IF PROJECT LIES WITHIN A MILE OF THE COAST LINE, ALL WINDOWS & DOORS SHALL BE ORDERED WITH LAMINATED GLASS CONTRACTOR TO VERIEV ALL ALL OF THE ARCHITECT'S WINDOW & DOOR SPECIFICATIONS PRIOR TO ORDERING ANY WINDOW/DOORS IF THERE ARE ANY DISCREPANCIES WITH SIZES, IT IS THE CONTPACTOR'S RESPONSIBILITY TO CONSULT WITH ARCHITECT PRIOR TO CONTRINCEMENT OF ANY MORE

5- CONTRACTOR SHALL CONSULT WITH OWNER PRIOP TO ORDERING ANY WINDOW AND DOOR HARDWARE FOR OWNER SPECIFICATIONS

- ALL METAL ELASUING WILEPE CALLED FOR ON PLANS SHALL BE COPPER OR ALLMINISM.

2- CONTRACTOR SHALL PROVIDE GUTTERS AND LEADERS AS REQUIRED AND SHALL CONNECT THEM TO THE APPROVED STOPM WATER ALL SKYLIGHT ODDINGS SHALL BE PROPERLY FLASHED.

3- ALL SKTUGHT OPENINGS SHALL BE PROFERLY FLASHED
4- ALL HORK SHALL BEAR A WRITTEN ONE (1) YEAR GUARANTEE FROM ROOFING CONTRACTOR FROM THE DATE OF THE OWNER'S
ACCEPTANCE, ADDITIONAL THANHACTURER WARRANTES SHALL BE PROVIDED WHEN APPROPRIATE
5- ALL ROOF INTERSECTIONS TO HAVE FLASHING TO EXTEND 8' (TRASURED VEPTICALLY) ABOVE FLAT ROOF
6-FOR PROFS PRICED 312 AND IP, NEW ROOFING SHALL BE ASPIRAL SHALLBELGURES OTHERWISE NOTED) OVER ISM FELT, I LAYER OF
UNDEPLAYMENT REQUIRED WHEN ROOF PITCH 'S 4:2 AND ABOVE, OTHERWISE TWO LAYERS SHALL BE USED FROM 3:12 UP TO 4:12, INSTALL
AND LAP JOINTS AS PER 2015 IR C AND THANFACTURERS SPECIFICATIONS PROVIDE AN ICE AND MATER SHALLD
UNDEPLAYMENT HITM 72-0' (PROJECTED HORIZOMALLY) FORM THE INTERIOR SIDES OF EXTERIOR MALLS BELOW, FOR ALL ROOF
OVERHAMGS ASPHALT SHINGLES TO BE ATTACHED WITH A MIN OF TWO 120/37/4' LONG GALVANIZED ROOFING NAILS MIN TWO PER SHINGLE
SHINGLE AND YOUR DESE PURPS HERMS!

HINGLE AND SIX PER STRIP SHINGLE - FOR ROOFS PITCHED BETWEEN 112 AND 312, NEW ROOFING SHALL BE ROLLED ROOFING WITH AN ICE AND WATER SHIELD UNDERLAYMENT

WITHIN 2-0' (PROJECTED MORTONTALIT) FORT THE INTERIOR SIDES OF EXTERIOR WALLS BELOW, FOR ALL ROOF OVERHANDS

6- FOR ROOFS BELOW ID BUILT UP ROOFING SHALL BE A 20 YEAR JONES HAWILLE ROOFING 5'STEP, CONSISTING OF I LAYED OF NIRGH ISO,

1 LAYER OF DIMBAGES SET IN MERCA, AND I LAYER OF DIMBARD SET IN HIBROA. LAYER OF DYMABASE SET IN MBRCAA, AND I LAYER OF DYMAKAP SET IN MBRCAA - NEW WORK SHALL TIE IN AND LAP SO AS TO PREVENT LEAKAGE ACCORDING TO ACCEPTABLE BUILDING PRACTICES ADDRESSED IN THE

IO- ALL EXTERIOP NAILING SHALL BE ALUMINUM OR GALVANIZED

III- FLASHING TO BE PROVIDED AT ALL ROOF PENETRATIONS, PIPES, VENTS, SKYLIGHTS, CHIPME'S AND ROOF VENTILATORS FLASHING TO BE PROVIDED AT HIPS, RIDGES, VALLEYS, CHANGES OF ROOF SLOPE, GABLE ENDS AND TOP OF FRAND WALLS - INSTALL SHIMS TO PROVIDE ROOF PITCH UNDER SHEATHING AND PERPENDICULAR TO THE ROOF JOISTS TO PROVIDE FOR ROOF VENTING N FLAT ROOF AREAS

IN FLAT KOOF AKEAD IS- ALL BUTEPIND LEADERS ARE TO HAVE 1/2" FOAM SCHIND INSHLATION OVER PVC PIPING 14- CONTRACTOR SHALL PROVIDE GUTTERS AND LEADERS AS REQUIRED AND SHALL CONNECT THEM TO THE APPPOVED STORM WATER

FINISH WORK NOTES

- TRIFT, MOLDINGS, CASINGS, HINDON FRAMES, ETC. SHALL MATCH EXISTING WILESS OTHERWISE NOTED ON DRAWINGS, PAINT OP STAIN AS IN CAMBATOR SUBLIT PRAVIDE WOOD STEPS TO GRADEFINESS OTHERWISE NOTED). NIMBER OF STEPS PECHIPED TO BE DETERMINED IN FIRID.

LL DECK LUMBER TO BE A C O (ARSENIC PREF PRESENTE TEATED LUMBER)

ALL EXTERIOR ROOD FERKE AND DECKNIG NATEPHALS TO BE WATER SEALED

CONTRACTOR SHALL SEAL AND . OR PRIME ALL DOORS INTERDIATE UPON INSTALLATION TO AVOID MARPING

- ALL GLAZING AND SKYLIGHTS SHALL BE IN ACCORDANCE WITH THE 2015 IR C FOR IMPACT RESISTANCES

- ALL GYPSUM BOARD WALLS AND CEILINGS SHALL BE TAPED AND SANDED WITH A MIN OF 3 COATS OF SPACKLE, PRIMED AND READY FOR WALL FINISHING, AS PER OWNER 7- THE OWNER SHALL SELECT ALL COLORS FOR APPLIANCES, PAINT, TILE, CABINETRY, EXTERIOR PAINTING, COUNTER TOPS, AND KITCHEN

SECTION 3

LOT COVERAGE

TOTAL LOT COVERAGE

FLOOR AREA

IEW DECK TOTAL FLOOR AREA

FRONT YARD SETBACK

REAR YARD SETBACK

SIDE YARD SETBACK

SIDE YARD SIDE YARD TOTAL SIDE YARD SETBACK

ZONING CALCULATIONS

3,347 53

EXISTING

2 231 69 0 00 0 00

95.00

14,686 63

2,952 69 120 00 560 33

60.00

CABINETY

A: CAPPETING SHALL BE FURNISHED AND INSTALLED AT THE CANDERS DIPENSE UNLESS OTHERWISE AWARDED IN THE CONTRACT

9. CONTRACTOR SHALL PATICH AND HATCH ALL FINISHES AFFECTED BY THE NEW CONSTRUCTION FOR BOTH THE INTERIOR AND EXT

10. HON COMPLECTION OF THE WORK, THE CONTRACTOR SHALL BENCON LELAW ALL AFFECTED AREAS AND CART AWAY ALL DEBRIS

11. HATERPROOF ALL BATRROOM FLOOR AND PROVIDE COVE BASE AS PER 2015 IR C

2. ALL STARE CONSTRUCTION TO COMPET WITH 2015 IR C

13. GLASS BUCLOSURES ARXINING SKOWERS AND TUBS SHALL BE IN COMPLIANCE WITH THE 2015 IR C

### MASONRY NOTES

TROUBE METHOLES & 2-0° OC 2 PROVIDE GALVANIZED MALL TIES TO ANCHOR BRICK 3 DEPOMALL REINFORCED & 16° OC VERTICALLY 4 EXPANSION JONETS & 30°-0° OC VERTICALLY (MAX.) AND AT INTERSECTIONS

### ELECTRICAL NOTES

ALL ELECTRICAL MORE SHALL BE CONFINED TO THE SPACE AND LOCATION ALLOHD FOR IT, AND SHALL BE IN STRICT CONFORMACE TO THE NATIONAL ELECTRICAL COPE, GOVERNING THINCIPALITY AND INFA 72 PRODUCE STRANGE CERCUITS OR ALL APPLIANCES, APPEARAGE DASSO ON INABINATURES SPECIFICATIONS 3 CONTRACTOR TO TO VERYEN WITH THE OWNER, IF THE OMNER WILL BE PURCHASING APPLIANCES AND HAVING THEM INSTALLED BY OTHERS PRIOR TO SUBMITTING A BID

ON THE PROJECT
4 CONTRACTOR SHALL INSTALL, AS PER OWNERS
DIRECTION, ANY AND ALL INTERCOM, ALARM, THERMOSTAT,
TELEPHONE AND/OR TV ANTENNA WRING IN MALLS PRIOR
TO SHEETPOCKING ALL WIRING SHALL BE BOARD OF FIRE

AND INCLUDE THE FOLLOWING A) ALL WIRING FOR NEW SWITCHES, OUTLETS, FIXTURES, RE-CIRCUITING NECESSARY TO ALLON FOR ALL NEW WOR ALL REWIRING OF EXISTING FIXTURES AND LABELING OF CIRCUIT REFAKERS TO INDICATE CIRCUIT USE

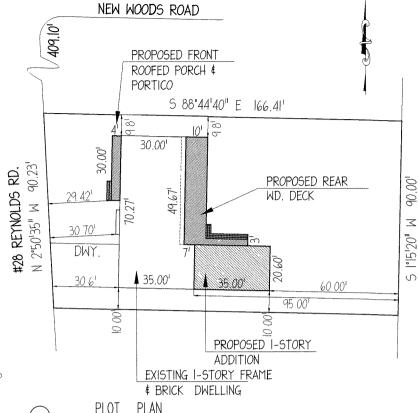
B) FIRNISH NEBU CERTIFICATE AT COMPLETION OF opk Smoke Alarms Shall be installed in each sleeping 5 SYOKE ALAPITS SHALL BE INSTALLED IN EACH SLEEPING TOOL OUTSIDE SEARCH SPRAARS LEEPING AREA IN THE INTERDATE VICINITY OF THE EDEBLOOKS, AND ON EACH ADDITIONAL STORY OF THE DIPALLING, INCLIDING BASEPINTS AND ATTACHD CARACES, BUT NOT INCLIDING CRAIL SPACES AND INMANIFACIAL ATTACKS SYSCE ALARMS SHALL BE INTERCONNECTED IN SUCH A THANKET THAT THE ACTUATION OF ONE ALAPIT WILL WILL ACTIVATE ALL OF THE ALARYS IN THE INDIVIDUAL UNIT THE ALARYS SHALL BE CLOSELY ANDREW IN ALL INTERVENING DOORS SHALL BE CLOSELY ANDREW IN ALL INTERVENING DOORS COSED) AND CENTRALIZED ALAPIT HOW FOR PAIL SYSCE COSED) AND CENTRALIZED ALAPIT HOW FOR PAIL SYSCE. SHALL BE INSTALLED IN EACH DWELLING UNIT ON ANY HAVING FUEL-FIRED OR SOLID-FUEL \*APPLIANCES AND HAVIN, FUEL-FIRED OR SULLIF-LUEL TAPLLANCES AND EQUIPHENT, FEREPLACES, OR ATTACHED GARAGES CARBON FOXOMER ALARTS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARTH HILL MILL ACTIVATE ALL OF THE ALARTS IN THE INDIVIDUAL UNIT THE ALARTS HAVE BE CLEARLY AUDIBLE IN ALL BEDROOTS OVER BACKGRUND KOSE LEVELS HITH ALL INTERVENING DOORS CLOSED ONE CENTRALIZED ALARM HORN FOR ALL CARBON MONOXIDE DETECTORS IS PROHIBITED
6 CONTRACTOR SHALL VERIFY WITH THE OWNER, LOCATION
AND QUANTITY OF LICENTING FIXTURES, SWITCHES, OUTLETS
ETC. PRIOR TO PROVIDING BID ON PROJECT.

WAS A LIGHT WAY. PROVIDE A MINIMUM OF ONE OUTLET IN A HALLWAY

THAT EXCEEDS 9'-0" IN LENGTH I EAST THE IN LEMENT A PROVIDE ONE OUTLET IN EACH ROOM A MINIMUM OF 6'-0' FROM THE INTRANCE TO THAT ROOM

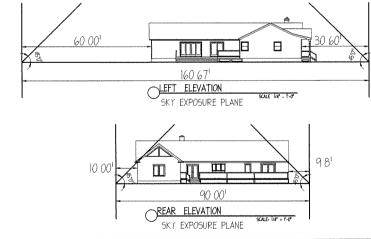
9. PROVIDE A HIMMING OF ONE GFC1 OUTLET WITHIN 3'-0' OF ANY SINK AND A MINIMUM OF ONE IN EVERY BATHPOOM UNLESS OTHERWISE SPECIFIED. unless otherwise specified 10 contractor Must Verify with his licensed Electrician if an upgrade of electrical service is Reguired for this project prior to submitting a bid REDURED FOR THE TAUGUST PRICE TO SUBMITTION A BID.

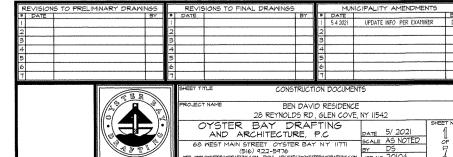
ID CONTRACTOR TO VERIFY LOCATIONS OF HASTS, PIETERS SUB-PANELS, ETC FOR RELOCATION AS REQUIRED FOR THE PROJECT CONTRACTOR MUST ALSO NOTIFY THE ARCHITECT OF LOCATIONS IF NOT SHOWN ON PLANS, PRIOR TO COMPRIANTHEAST OF WORK IS BIDDING. LATIONS IF NOT SHOWN ON I

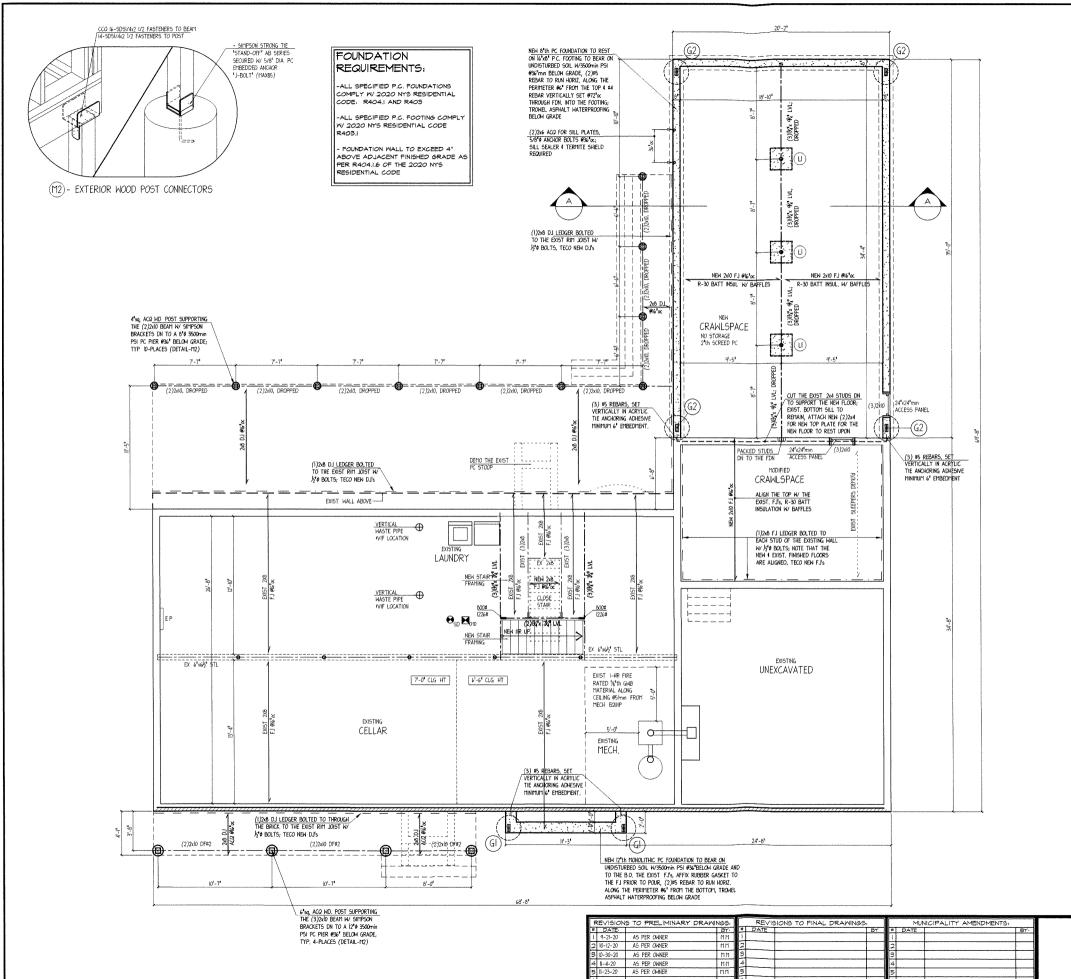


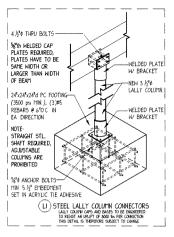
SCALE I" = 201 THIS IS AN ARCHITECTURAL SITE PLAN BASED ON INFORMATION SHOWN ON A SURVEY PERFORMED BY MALTER B SYSAK ON 3-2-83

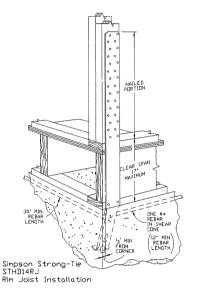




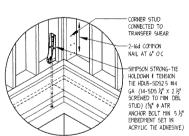








G2)- CORNER HOLDOWN TO FOUNDATION



(GI)- CORNER HOLDOWN TO FOUNDATION

	LEG	E	ND	
M	CARBON MONOXIDE		СT	COLLAR TIE5
<b>M</b> <sub>CMD</sub>	DETECTOR		RR	ROOF RAFTER
•	CLASSE DEFECTOR	I	CJ	CEILING JOIST
$\Theta_{SD}$	SMOKE DETECTOR	۱	OC.	ON CENTER
ALUM	ALUMINUM	I	FTG	FOOTING
DW	DISHWASHER	1	PC	POURED CONCRETE
EXIST	EXISTING	1	GALY	GALVANIZED
FF	FINISHED FLOOR	1	BM	BEAM
PNDN	FOUNDATION	۱	DN	DOWN
FWD	FRENCH WOOD DOOR	۱	DBL	DOUBLE
GNB	GYPSUM WALL BOARD	11	FRMG	FRAMING
HDR	HEADER	۱	ΤV	TRUE VALLEY
INSUL	INSULATION	۱	٧L	VALLEY LEDGER
MC	MEDICINE CABINET		PLYWD	PLYW00D
M5	MARBLE SADDLE	I	ML	MICROLAM
th	THICK		STL	STEEL
WD	MOOD			
W1 CL	WALK-IN-CLOSET	1		
VIF	VERIFY IN FIELD	11		

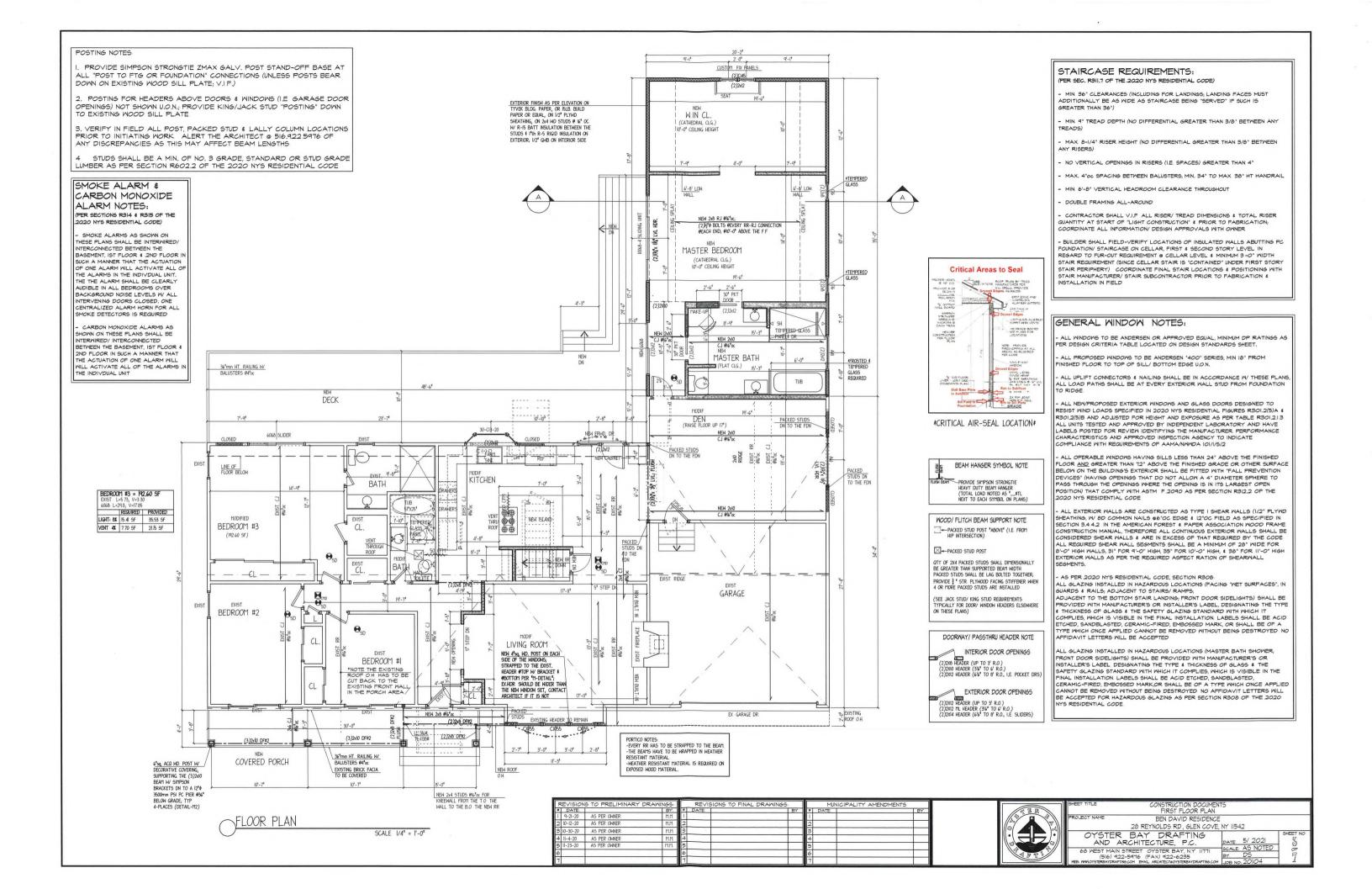
VIF VERIFY IN	FIELD			
	WALL LEGEND			
	existing walls to remain			
	EXISTING WALLS TO BE REMOVED			
NEM EXTERIOR NALL:  EXTERIOR FINISH AS PER ELEVATION ON TYVES  BLDG. PAPER, OR 15LB. BUILD PAPER OR  EQUAL, ON 1/2" PLYND. SHEATHING, ON 224 MC  STUDG 6 16" CO. W. P. 15 BATTI INSULATION  BETWEEN THE STUDG 6 1"th R-5 RIGIO  INSTEAD ON ON EXTERIOR, 1/2" GMB ON  INTERIOR SIDE				
<b></b>	NEW INTERIOR PARTITIONS: NEW 2x4 MD STUDS @ 16" OC W/ 1/2" GMB ON EACH SIDE			
**************************************	NEW BEARING WALL: NEW 2x4 MD STUDS @ 16" OC W/ 1/2" GMB ON EACH SIDE. PROVIDE SOLID FULL-NIDTH BLOCKING UNDER ALL NEW BEARING PARTITIONS			
<del>~~~~</del> \$	NEW FIRE-RATED WALL: NEW 2/4 HD STUDS @ 16' OC W/ ONE LAYER 5/6' TYPE 'A' GWB ON EACH SIDE (ONE-HOUR FIRE RATING)			
VARIES	NEW LOW-MALE: NEW 2x4 MD STUDS @ 16" OC W/ V2" GMB ON EACH SIDE, MIDTH 4 HEIGHT TO VARY - SEE PLANS			
( ) \( \)	NEW FOUNDATION MALL! NEW 8'TH PC FOUNDATION TO REST ON 16'A" PC, FOUNDATIONS TO BEAR ON UNDISTURBED SOIL W-9560min PSI, (2)*5 REBAR TO RUN HORIZ, ALONG THE PERMITTER 86' FROM THE TOP 4 HA REBAR VERTICALLY SET 972'6. THROUGH FDN, WITO THE FOUNDATION BELON GRADE			
- 100 A	NEW 12 <sup>th</sup> MONOLITHIC PC FOUNDATION TO BEAR ON INDISTURED SOL W3500mm PSI 983/BELON GADE AND TO THE 80. THE EXIST FJ's, AFTIX RUBBER GASKET TO THE FJ PRIOR TO POUR, CJ'S REBAR TO RIN PORIZ, ALONG THE PERMETER 86 FROM THE BOTTOM, TRUME LASHALT MATERPROOFING BELOW GRADE			

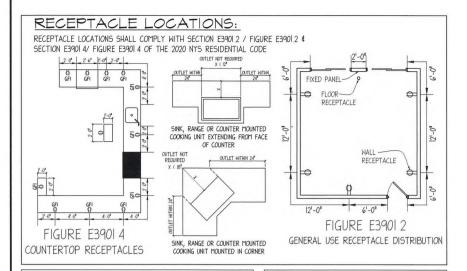
CLASS OF MATERIAL	LOAD BEARING PRESSURE (LBS PER SO FT )
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY AND FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GW AND GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY	2,000
GRAVEL AND CLAYEY GRAVEL	
(SW, SP, SM, SC, GM, GC)	
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY	1,500
SILT, SILT AND SANDY SILT	
(CL. ML, MH AND CH)	

TABLE R402.2 MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE		MINIMUM SPECIFIED COMPRESSIVE STRENGTH				
TABLE RAUZ Z TIMINUTT SPECIFIED CONFRESSIVE STRENGTH OF CONCRETE	WEATHERING POTENTIAL					
TYPE OR LOCATION OF CONCRETE INSTRUCTION	NEGLIGIBLE	MODERATE	SEVERE			
BASEMENT WALLS, FOUNDATIONS AND OTHER CONCRETE EXPOSED TO THE WEATHER	2,500	2,500	2,500			
BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR SLABS	2,500	2,500	2,500			
BASEMENT WALLS, FOUNDATIONS WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO THE WEATHER	2,500	3,000	3,000			
PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER AND GARAGE FLOOR SLABS	2,500	3,000	3,500			



1	SHEET TITLE CONSTRUCTION DOCUMENTS FOUNDATION PLAN	
	PROJECT NAME BEN DAVID RESIDENCE	
Ш	28 REYNOLDS RD , GLEN COVE, NY 11542	
	OYSTER BAY DRAFTING	SHEET NO
	AND ARCHITECTURE, P.C. DATE 5/ 2021	3⊓°
Ш	68 WEST MAIN STREET OYSTER BAY, NY 11771 SCALE AS NOTED	OF C





### GENERAL ELECTRICAL NOTES:

- HIRING METHODS SHALL BE IN ACCORDANCE WITH SECTION E3801 OF THE 2020 NYS RESIDENTIAL CODE ALLOWABLE APPLICATIONS FOR HIRING METHODS SHALL BE IN ACCORDANCE WITH TABLE E3801 4 OF THE 2020 NYS RESIDENTIAL CODE GENERAL INSTALLATION AND SUPPORT REQUIREMENTS FOR HIRING METHODS SHALL BE IN ACCORDANCE WITH TABLE E3802.1 OF THE 2020 NYS RESIDENTIAL CODE

- EACH NEM APPLIANCE FOR KITCHEN & LAUNDRY AREAS SHALL HAVE A DEDICATED CIRCUIT, MIN 20 AMP CAPACITY (VOLTAGE AS PER MFR'S REQUIREMENTS AS PER SECTION. ALL "SMALL APPLIANCE RECEPTACLES" IN KITCHEN LOCATIONS SHALL BE MIRED TO A MINIPUM OF TWO (2) DEDICATED 20 AMP CIRCUITS AS PER E39013 OF THE 2020 NYS RESIDENTIAL CODE

- PROVIDE ARC-FAULT CIRCUIT-INTERUPTER PROTECTION FOR ALL NEW CIRCUITS AS PER SECTION E3902 OF THE 2020 NYS RESIDENTIAL CODE

PROVIDE MIN. ONE (1) MALL SMITCH CONTROLLED LIGHTING OUTLET IN EACH HABITABLE ROOM, ALL EGRESS EXTERIOR LOCATIONS, GARAGE DOOR LOCATION ↓ AS ADDITIONALLY NOTED PER SECTION E4001 OF THE 2020 NYS RESIDENTIAL CODE

- ELECTRICIAN SHALL CONFIRM THAT AT LEAST ONE THERMOSTAT IS PROVIDED FOR EACH SEPARATE HEATING 1 COCLING SYSTEM AS PER THE REQUIREMENTS NOTED FOR COMPLIANCE WITH SECTION NIIO3.1 OF THE 2020 NYS RESIDENTIAL CODE.

- CONTRACTOR TO COORDINATE ALL LIGHTING REQUIREMENTS WITH OWNER. PROVIDE ARTIFICIAL LILLUMINATION SOURCES (TIM AVG. ILLUMINATION 6FC) WITH WALL SHITCHES IN ALL HALLMAYS, BATHROOMS, WALK-IN CLOSETS, & CELLAR SPACES. REFER TO "ELECTRICAL NOTES" SECTION ON SHEET.
N-I FOR ADDITIONAL ELECTRICAL REQUIREMENTS

- ALL ELECTRICAL WORK SHALL BE CONFINED TO THE SPACE AND LOCATION ALLOWED FOR IT, AND SHALL BE IN STRICT CONFORMANCE TO THE NATIONAL ELECTRICAL CODE, GOVERNING PUBLICIPALITY AND NFPA 72.

- CONTRACTOR SHALL INSTALL, AS PER OWNERS DIRECTION, ALL HIRING FOR NEW SHITCHES, FIXTURES, AND RE-CIRCUTING MECESSARY TO ALLOW FOR ALL NEW MORK, ALL REMIRING OF EXISTING FORTURES AND LABELMO OF CIRCUIT BREAKERS TO INDICATE CIRCUIT USE, FURNISH MYBU CERTIFICATE AT COTPLETION OF WORK

- CONTRACTOR SHALL VERIFY WITH THE OWNER, LOCATION AND QUANTITY OF LIGHTING

PRIOR TO PROVIDING BID ON PROJECT

- CONTRACTOR MUST VERIFY MITH HIS LICENSED ELECTRICIAN IF AN UPGRADE OF ELECTRICAL SERVICE IS REQUIRED FOR THIS PROJECT PRIOR TO SUBMITTING A BID

- CONTRACTOR TO VERIFY LOCATIONS OF MASTS, METERS, SUB-PANELS, ETC. FOR RELOCATION AS REQUIRED FOR THE PROJECT CONTRACTOR HUST ALSO NOTIFY THE ARCHITECT OF LOCATIONS IF NOT SHOWN ON PLANS, PRIOR TO COMMENCEMENT OF WORK

### GENERAL LIGHTING NOTES:

CONTRACTOR TO COORDINATE ALL LIGHTING REQUIREMENTS WITH OWNER PROVIDE ARTHRICAL ILLUMINATION SOURCES (MIN. AVG. ILLUMINATION OF COMPACT OF CONTRACT ON CONTRACT OF CONTRACT ON CONTRACT OF CONTRACT ON CONTRACT OF CONTRACT ON CONTRACT OF CONTRACT ON

N-I FOR ADDITIONAL ELECTRICAL REQUIREMENTS

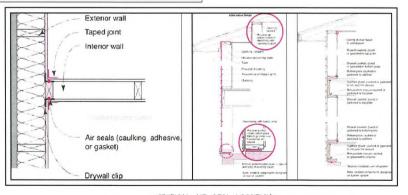
-ALL ELECTRICAL WORK SHALL BE CONFINED TO THE SPACE AND LOCATION ALLOWED FOR IT, AND SHALL BE IN STRICT CONFORMANCE TO THE NATIONAL ELECTRICAL CODE, GOVERNING MUNICIPALITY AND NFPA

- CONTRACTOR SHALL INSTALL, AS PER CHNERS DIRECTION, ALL HIRING FOR NEW SHITCHES, FIXTURES, AND RE-CIRCUITING MECEGSARY TO ALLON FOR ALL NEW HOME, ALL REMIRING OF EXISTING FIXTURES AND LABELING OF CIRCUIT BREAKERS TO INDICATE CIRCUIT USE, FURNISH NEWL CERTIFICATE AT COMPILE TION OF MORK

- CONTRACTOR SHALL VERIFY WITH THE OWNER, LOCATION AND GUANTITY OF LIGHTING FIXTURES AND SWITCHES PRIOR TO PROVIDING BID ON PROJECT

- CONTRACTOR MUST VERIFY WITH HIS LICENSED ELECTRICIAN IF AN UPGRADE OF ELECTRICAL SERVICE IS REQUIRED FOR THIS PROJECT

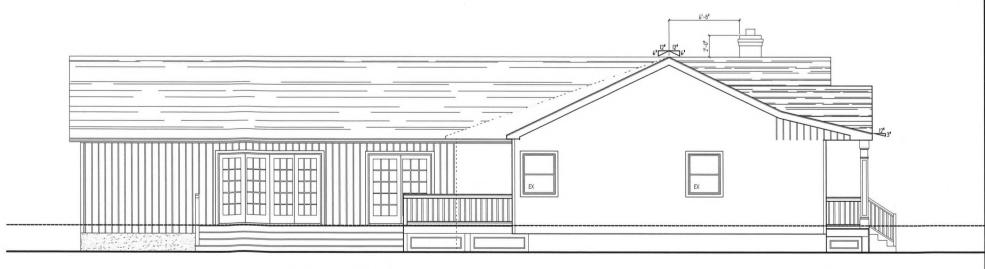
- CONTRACTOR TO VERIFY LOCATIONS OF MASTS, HETERS, SUB-PANELS, ETC. FOR RELOCATION AS REQUIRED FOR THE PROJECT CONTRACTOR MUST ALSO NOTHEY THE ARCHITECT OF LOCATIONS IF NOT SHOWN ON PLANS, PRIOR TO COMMINICATION OF WORK & BIDDING



\*CRITICAL AIR-SEAL LOCATION\*







LEFT ELEVATION

SCALE 1/4" = 1'-0"

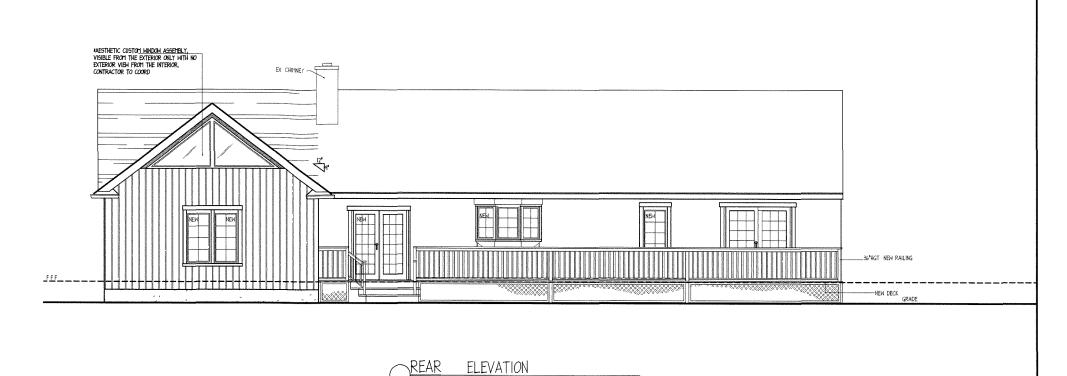
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# DATE		BY	-	DATE		BY	#	DATE		BY.
1 9-21-20	AS PER OWNER	MM	Ш				1			
2 10-12-20	AS PER OWNER	M.M.	2				2			
3 10-30-20	AS PER OWNER	M.M.	3				3			
4 11-4 20	AS PER OWNER	M.M.	4				4			
5 11-23-20	AS PER OWNER	M.M	5				5			
6			6				6			



SHEET TITLE			
SHEET TILE	CONSTRUCTION DOCUMENT ELEVATIONS	15	
PROJECT NAME	BEN DAVID RESIDENCE 28 REYNOLDS RD , GLEN COVE		
	BAY DRAFTING RCHITECTURE, P.C	DATE 5/ 202	SHEET NO
(516) 92	STREET OYSTER BAY NY 11771 2-5976 (FAX) 922-6235 INS.COM EMAIL ARCHITECTBOYSTERBAYDRAFTING.COM	SCALE AS NOTED BY DS JOB NO 20104	of I

WOOD FRAME CONSTRUCTION MANUAL: TAE	BLE 3,1								
NAILING SCHEDULE									
JOINT DESCRIPTION	NUMBER OF COMMON NAILS	NUMBER OF BOX NAILS	nail spacing						
ROOF FRAMING									
RAFTER TO TOP PLATE (TOE-NAILED)	/SFE TABLE 3.4A)	(SEE TABLE 3 4A)	PER RAFTER						
CEILING JOIST TO TOP PLATE (TOE-NAILED)	(SEE TABLE 3 4A)	(SEE TABLE 3 4A)	PER JOIST						
CEILING JOIST TO PARALLEL RAFTER (FACE-NAILED)	(SEE TABLE 3 9A)	(SEE TABLE 3 9A)	EACH LAP						
CEILING JOIST LAPS OVER PARTITIONS (FACE-NAILED)	(SEE TABLE 3 9A)	(SEE TABLE 3 9A)	EACH LAP						
COLLAR TIE TO RAFTER (FACE-NAILED)	(SEE TABLE 36A)		PER TIE						
BLOCKING TO RAFTER (TOE-NAILED)	2- 8d 2- 16d	2- 10d 3- 16d	EACH END EACH END						
RIM BOARD TO RAFTER (END-NAILED)	Z- 160	3- 160	CACH END						
WALL FRAMING									
TOP PLATE TO TOP PLATE (FACE-NAILED)	2- l6d	2- 16d1	PER FOOT						
TOP PLATES AT INTERSECTIONS (FACE-NAILED)	4- 16d	5- 16d	JOIST - EACH SID						
STUD TO STUD (FACE-NAILED)	2- l6d	2- l6d	24° OC						
HEADER TO HEADER (FACE NAILED)		(655 TABLE 25A)	16" O C ALONG EDG						
TOP OR BOTTOM PLATE TO STUD (END-NAILED) BOTTOM PLATE TO FLOOR JOIST, BANDJOIST,	(SEE TABLE 35A)	(SEE TABLE 35A) 2- I6d <sup>17</sup>	PER STUD PER FOOT						
ENDJOIST OR BLOCKING (FACE-NAILED)	2- 160**	2- 160**	PEK PUU!						
FLOOR FRAMING	1								
JOIST TO SILL, TOP PLATE OR GIRDER (TOE-NAILED)	4- 8d	4- l0d	PER JOIST						
BRIDGING TO JOIST (TOE-NAILED)	2- 8d	2- IOd	EACH END						
BLOCKING TO JOIST (TOE-NAILED)	2- 8d	2- IOd	EACH END						
BLOCKING TO SILL OR TOP PLATE (TOE-NAILED)	3- 16d	4- 16d	EACH BLOCK						
LEDGER STRIP TO BEAM (FACE-NAILED)	3- 16d	4- 16d	EACH JOIST						
JOIST ON LEDGER TO BEAM (TOE-NAILED) BAND JOIST TO JOIST (END-NAILED)	3- 8d 3- l6d	3- 10d 4- 16d	PER JOIST PER JOIST						
BAND JOIST TO SILL OR TOP PLATE (TOE-NAILED)	2- l6d	3- 16d	PER FOOT						
ROOF SHEATHING	2- 100	3- 189	128 1001						
STRUCTURAL PANELS	8d	104	(SEE TABLE 310)						
DIAGONAL BOARD SHEATHING	1								
I'X 6" OR I'X 8"	2- 8d	2- 10d	PER SUPPORT						
I'X IO' OR WIDER	3- 8d	3- IOd	PER SUPPORT						
<u>CEILING SHEATHING</u>									
GYPSUM WALLBOARD	5d COOLERS	5d COOLERS	7' EDGE / 10' FIEL						
WALL SHEATHING									
STRUCTURAL PANELS	8d	lod	(SEE TABLE 3 II						
FIBERBOARD PANELS		100							
7/16*	69,	-	3" EDGE / 6" FIEL						
25/32 <b>*</b>	8d '	-	3" EDGE / 6" FIEL						
GYPSUM WALLBOARD	5d COOLERS	5d COOLERS	7" EDGE / 10" FIEL						
HARDBOARD	8d	δd	(SEE TABLE 31)						
PARTICLEBOARD PANELS	8d	8d	(SEE MANUFACTURE						
DIAGONAL BOARD SHEATHING	1								
I'X 6" OR I"X 8"	2- 8d	2- l0d	PER SUPPORT						
I'X 10" OR HIDER	3- 8d	3- l0d	PER SUPPORT						
WALL SHEATHING									
STRUCTURAL PANELS									
If OR LESS	8d	104	6' EDGE / 12' FIEI						
GREATER THAN !*	l0d	16d	6" EDGE / 6" FIEL						
DIAGONAL BOARD SHEATHING									
I'X 6' OR I'X 8'	2- 8d	2- 10d	PER SUPPORT						
I'X IO' OR HIDER	3- 8d	3- 10d	PER SUPPORT						

NEW YORK SECTION OF SOME CONSISTED FROM THE PROPERTY OF SOME PROPERTY





		S TO PRELIMINARY	DRAWINGS	L	REVISIONS TO FINAL DRAWIN	<del>6</del> 5		Mul	NICIPALITY AMENDMENTS	5
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2	10-12-20	AS PER OWNER	ММ	2			2			$\neg$
3	10-30-20	AS PER OWNER	пп	3			3			-
4	11-4-20	as per owner	MM	4			4			
5	11-23-20	AS PER OWNER	MM	5			5			
6				6			6			



SHEET TITLE	CONSTRUCTION DOCUMEN	rs .	
	ELEVATIONS	· <del>-</del>	
PROJECT NAME	BEN DAVID RESIDENCE		
	28 REYNOLDS RD , GLEN COVE,	NY 11542	
OYSTER	BAY DRAFTING		SHEET NO
AND A		DATE 5/ 2021	7
	SINCE DISIENDAL N. 1171	SCALE AS NOTED	OF C
	2-5976 (FAX) 922-6235 NGCOM EMAIL ARCHITECT@OYSTERBAYDRAFTINGCOM	BY U5	7
NEED INVICOTS IENDAT DISAFT	NO COM EMAIL ANCHIECTECTSTERBATURAFTING.COM	JOB NO 20104	